

City of Windcrest



AGENDA BOARD OF ADJUSTMENT MEETING 6:00 PM SEPTEMBER 24, 2025

CITY COUNCIL CHAMBERS - 8601 MIDCROWN

6:00 PM

NOTICE IS HEREBY GIVEN THAT A CITY OF WINDCREST BOARD OF ADJUSTMENT MEETING WILL BE HELD AT WINDCREST CITY HALL, 8601 MIDCROWN, WINDCREST, TEXAS ON THE WEDNESDAY, SEPTEMBER 24, 2025, STARTING AT 6:00 P.M.

THE BOARD OF ADJUSTMENT RESERVES THE OPTION TO RECESS THE MEETING DURING THE EVENING OF WEDNESDAY, SEPTEMBER 24, 2025, AND TO RECONVENE THE MEETING ON THE FOLLOWING BUSINESS DAY, THURSDAY, SEPTEMBER 25, 2025, AT 10:00 A.M. AT THE WINDCREST CITY HALL, 8601 MIDCROWN, WINDCREST, TEXAS.

NOTICE OF ASSISTANCE AT THE PUBLIC MEETING

The City of Windcrest Council Chambers is wheelchair accessible, and accessible parking spaces are available. In compliance with Americans with Disabilities Act, the City of Windcrest will provide reasonable accommodations for persons attending the meeting. To better serve you, requests should be received 48 hours prior to the meeting. Please contact the City Secretary's Office, at 210-655-0022 ext. 2150 or Fax 210-655-8776, or 711 Texas Relay.

I. CALL TO ORDER

II. ROLL CALL

III. VOTE TO EXCUSE ABSENT MEMBERS

IV. PLEDGE OF ALLEGIANCE

V. CITIZENS TO BE HEARD/CITIZEN PARTICIPATION

- Citizens may address the Board of Adjustment on topics not on the agenda for no more than three (3) minutes.
- Citizens shall also have the opportunity to address the Board of Adjustment during consideration of posted agenda items for no more than six (6) minutes.
- A City Official may make a statement of specific factual information in response to an inquiry made by a member of the public, or a recitation of existing policy in response to an inquiry made by a member of the public.

DURING THE MEETING THE FOLLOWING SUBJECTS WILL BE CONSIDERED AND THE CITY OF WINDCREST BOARD OF ADJUSTMENT MAY TAKE ACTION ON ANY OF THE LISTED SUBJECTS.

VI. PRESENTATION

- a) Applicant of 202 Weathercock may present their request for a variance to Sec. 113-112(a) of the Windcrest Code of Ordinances to the Board of Adjustment.
- b) Applicant of 8700 Fourwinds may present their request for a variance to Sec. 113-192(b) of the Windcrest Code of Ordinances to the Board of Adjustment.

VII. PUBLIC HEARING

OPENING OF PUBLIC HEARING

- a) Public hearing to receive comments from the public regarding a request for a variance to Sec. 113-112 (a) to allow the construction of a roof extension within the front yard setback at 202 Weathercock, Windcrest, Texas 78239, assigned Bexar County Appraisal District Property ID #342253.

CLOSING OF PUBLIC HEARING

OPENING OF PUBLIC HEARING

- b) Public hearing to receive comments from the public regarding a request for a variance to Sec. 113-192 (b) to allow the construction of a cantilever canopy within the side setback at 8700 Fourwinds, Windcrest, Texas 78239, assigned Bexar County Appraisal District Property ID #344489.

CLOSING OF PUBLIC HEARING

VIII. DISCUSSION AND ACTION

- a) The Board of Adjustment will review, discuss, and may take action on a variance request to Sec. 113-112 (a) to allow the construction of a roof extension within the front yard setback at 202 Weathercock, Windcrest, Texas 78239, assigned Bexar County Appraisal District Property ID #342253.
- b) The Board of Adjustment will review, discuss, and may take action on a variance request to Sec. 113-192 (b) to allow the construction of a cantilever canopy within the side setback at 8700 Fourwinds, Windcrest, Texas 78239, assigned Bexar County Appraisal District Property ID #344489.

IX. GENERAL ANNOUNCEMENTS & FUTURE AGENDA ITEMS REQUESTED

Per Ordinance No. 618, repealing Ordinance No. 593; Section 9: Every agenda shall include an item entry granting a member the opportunity to propose an item for consideration of future agendas for Regular or Special Meetings. Any member may request the inclusion of such items at any meeting.

X. ADJOURNMENT

Decorum Required: Any disruptive behavior, including shouting or derogatory statements or comments may be ruled out of order by the Presiding Officer. Continuation of this type of behavior could result in a request by the Presiding Officer that the individual leave the meeting, and if refused, an order of removal.

Action by Commission Authorized: The Board of Adjustment may vote and/or act upon any item within this Agenda. The Commission reserves the right to retire into executive session concerning any of the items listed on this Agenda, pursuant to and in accordance with Texas Government Code § 551.072 (Deliberations about Real Property); § 551.073 (Deliberations about Gifts & Donations); § 551.076 (Deliberations about Security Devices); §551.087 (Economic Development); §551.074 (Personnel Matters) and, § 551.071 to seek the advice of its attorney about pending or contemplated litigation, settlement offer or on a matter in which the duty of the attorney to the governmental body under the Texas Disciplinary Rules of Professional Conduct of the State Bar of Texas conflict with the Open Meetings Act and may invoke this right where the City Attorney, the Mayor or a majority of the Body deems an executive session is necessary to allow privileged consultation between the City Attorney and the governing body, if considered necessary and legally justified under the Open Meetings Act. The attorney may appear in person or appear in executive session by conference call in accordance with applicable state law.

Executive Sessions Approved by City Attorney: This agenda has been reviewed and approved by the City's legal counsel and the presence of any subject in any Executive Session portion of the agenda constitutes a written interpretation of Texas Government Code Chapter 551 by legal counsel for the body and constitutes an opinion by the attorney that the items discussed therein may be legally discussed in the closed portion of the meeting considering available opinions of a court of record and opinions of the Texas Attorney General known to the attorney. This provision has been added to this agenda with the intent to meet all elements necessary to satisfy Texas Government Code Chapter 551.144(c) and the meeting is conducted by all participants in reliance on this opinion.

Attendance By Other Elected or Appointed Officials: It is anticipated that members of other city boards, commissions and committees may attend the meeting in numbers that may constitute a quorum of such other city boards, commissions and committees, so that notice is hereby given that the meeting is also a meeting of the other city boards, commissions and committees whose members are in attendance. The members of the other city boards, commissions and committees may participate in discussions which occur at the meeting, but no action will be taken by the other boards, commissions, and committees whose members are in attendance.

I, the undersigned authority, do hereby certify that the above Notice of Meeting of the Board of Adjustment of the City of Windcrest is a true and correct copy of said Notice and was posted on the bulletin board at City Hall of said City in a convenient place to the public and said Notice was posted more than three (3) business days prior to the meeting on September 24, 2025.

BY:



Rachel C. Dominguez, City Secretary

VARIANCE CHECKLIST

DATE 7/22/25

PERMIT NUMBER 25-4011

PERMIT DATE 04/09/25 ^{1ST} DENIAL DATE 06/03/25 2ND DENIAL DATE 06/19/25 / ^{3RD} 6/23/25

CONTRACTOR PUERTO FENCING & STEEL

PHONE [REDACTED]

BILLING ADDRESS 202 WEATHERCOCK / [REDACTED]

APPLICANT JEIMY PANTOJA

PHONE [REDACTED]

ADDRESS 202 WEATHERCOCK / [REDACTED]

ITEM FOR DISCUSSION _____

☒ ORIGINAL VARIANCE APPLICATION FORM/payment of \$35.00 (due at point of complete packet filing)

☒ SITE PLAN/PLANS/ project plans showing the dimensions of the structure and setbacks.

(Please have plans include any plumbing/electrical/HVAC proposed SITE PLANNED SEPARATELY)

(plumbing/electrical/HVAC PERMITS PULLED SEPARATELY)

☒ FIRST DENIAL LETTER FROM CITY INSPECTOR

☒ 2ND DENIAL LETTER FROM CITY INSPECTOR

☒ LETTER FROM APPLICANT/ stating the hardship of which the appeal hearing is being requested.

PERMIT CLERK _____

DATE _____

JUL 22 '25 10:41

Windcrest - Building Services

8601 Midcrown
Windcrest, TX 78239
210-655-0022

Tuesday, July 22, 2025

Invoice for Permit Number 25-4011

Puerto Fencing & Steel - Edwin Puerto-Duarte
202 Weathercock
Windcrest TX 78239

Two Convenient Payment Options Available

Pay Online with your Discover, Visa, Mastercard or with your Escrow Account through the MyGovernmentOnline.org portal:

Go to www.mygovernmentonline.org and login with your user account. Click on the "Account" button at the top right section of the page. Scroll down to the "My Permits" section. Locate the permit number you wish to pay and click on "View Permit". Click on the "Payments" tab. Click on the "Pay Online" button near the bottom of the page to pay the balance with your Discover, Visa, MasterCard or Escrow Account. Once you have completed processing your payment, please allow the permit review staff sufficient time to review your project and follow-up with you.

Plan review process will not begin until fees are paid

Pay In-Person (Cash, Check, Discover, Visa or Mastercard):

WINDCREST
WINDCREST, TX 78239

Fee Type	Amount Due	Amount Paid
Re-Roofs	\$60.00	\$60.00
Credit Card Processing Fee	\$1.80	\$1.80
Plan & Revised Plan Review Fee (Building Inspector)	\$60.00	\$60.00
Non-Compliance Fee	\$170.00	\$170.00
Credit Card Processing Fee	\$6.90	\$6.90
Inspector Consultation or Site Visit Fee/Additional Inspection	\$60.00	\$60.00
Inspector Consultation or Site Visit Fee/Additional Inspection	\$60.00	\$60.00
Credit Card Processing Fee	\$3.60	\$3.60
Variance Request	\$35.00	\$35.00
	\$457.30	\$457.30
	Balance to Pay: \$0.00	

CITY OF WINDCREST

<http://windcrest.tx.gov>

REC#: 00008111 11/22/2025 10:30 AM
OPER: 101 TERM: 011
REF#:

TRAN: 410,0000 PLATTING/CONTRACT/VAR
25-4011 202 Weathercock
PLATTING/CONTRACT/VAR 31,000

REMARK: 35.00 LASH
APPLIED: 35.00

CREDIT: 0.00



WINDCREST

TEXAS

Universal Development Application

(Please use separate application for each submittal)

- | | | |
|---|---|--|
| ☐ Land Use Amendment | ☐ Land Study | ☐ Replat |
| ☐ Thoroughfare Amendment | ☐ Final Plat | ☐ Amending Plat |
| ☐ Zoning Change (choose one) | ☐ Preliminary Plat | ☐ Minor Plat |
| ☐ Straight Zoning | ☐ Specific Use Permit | ☐ Vacating Plat |
| ☐ PUD (Planned Unit Development) | ☐ Conditional Use Permit | ☐ Site Plan |
| ☒ Variance | ☐ Exception | ☐ Tree Removal Permit |

Project Name: 202 Weathercock Ln. - Front Porch
Total Acres: 0.299 Survey Name: Alliance Land Surveyors Abstract No.:
Project Location (address): 202 Weathercock Ln., San Antonio, TX 78239

Current Zoning: _____ Current Use: _____ # of Lots/Units: _____ For Commercial/Industrial:
Proposed Zoning: _____ Proposed Use: _____ Please Circle One: _____ Total Proposed Sq. Ft. _____
SF MF COMM IND OTHER

Applicant Information:

Property Owner Name: Jeimy Pantoja
Address: 202 Weathercock Ln. City: Windcrest St/Zip: TX 78239
Phone: _____ Fax: _____ E-Mail: _____

Applicant (if different than Owner):

Address: _____ City: _____ St/Zip: _____
Phone: _____ Fax: _____ E-Mail: _____

Representative:

Address: _____ City: _____ St/Zip: _____
Phone: _____ Fax: _____ E-Mail: _____

Authorization: By signing this application, you hereby grant Staff access to your property to perform work related to your application. Also, you waive the statutory time limits in accordance with Section 211, 212 and 245 of the Texas Local Government Code.

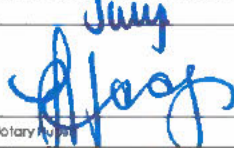


Owner's Signature

Typed/Printed Name

Jeimy Pantoja

Known to me to be the person whose name is subscribed to the above and foregoing instrument, and acknowledged to me that they executed the same for the purposes and consideration expressed and in the capacity herein stated. Given under my hand and seal on this 22 day of July, 2025



Notary Public



JAMIELEE HOCOG
Notary ID #134959703
My Commission Expires
June 24, 2028

City of Windcrest Use Only

Project No.: _____

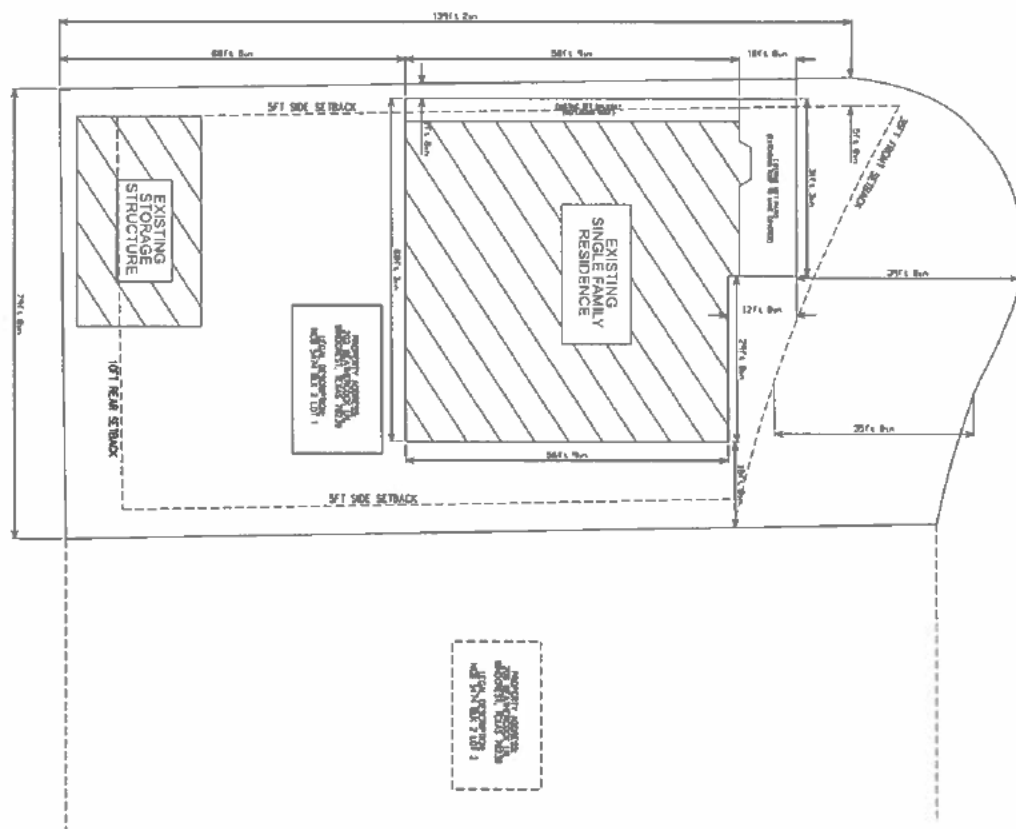
Total Fees: _____

Payment Method: _____

Submittal Date: _____

Accepted by: _____

TRADEWIND DR.



WEATHERCOCK LN.

SITE PLAN
SCALE=1"=10FT

SCALE=1" TO 10 FT

Eduardo Castillo
Engineering & Construction, LLC

Designer, Engineer, Planner, Consultant
2415 W. Magnolia, San Antonio, TX 78229
cdaridocastillo@eco-cis.com 710-613-4686
FAX 710-613-4686

202 WEATHERCOCK LN
WINDCREST, TEXAS 78239

31

Phone: 714-445-3828
Fax: 714-445-3828





TRIPLE FISH NO. 10194544
CITY, STATE, ZIP+4
18419 HWY 281 N, Suite 100
San Antonio, TX 78258
(210) 264-4444

BUTER/OWENS, JEFF DUNDA
ADDRESS: 202 WEBER COCK LANE

LOT 1, BLOCK 2, UNIT 1, NEW CITY BLOCK FIVE THOUSAND FOUR HUNDRED SEVENTY-FOUR (4744), IN THE CITY OF SAN ANTONIO, TEXAS (COUNTY OF BEXAR)
VOLUME 3535, PAGE 19, DEED AND PLAN RECORDS OF THE BEXAR COUNTY TEXAS

LAND SURVEY

NOTES

1. BEARINGS AND DISTANCES SHOWN FOR THIS SURVEY WERE DETERMINED BY GPS TYPED OBSERVATIONS, NORTH AMERICAN DATUM OF 1983, TEXAS STATE PLANE COORDINATE SYSTEM, TEXAS SOUTH CENTRAL ZONE (25N, 60E).
 2. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE COMMITMENT, AND DOES NOT CONSTITUTE A TITLE SEARCH BY THE SURVEYOR. ANY INFORMATION REGARDING RECORDS, EASEMENTS, SETBACKS AND ADJACENTS THAT MAY AFFECT THE COUNTRY OF TITLE MAY NOT BE SHOWN.
- ACCORDING TO RULE 104, ADOPTED 2007 WITH AN EFFECTIVE DATE OF 04/01/2008, ANY SURVEY THAT IS NOT A FINAL SURVEY SHALL BE SUBJECT TO CANCELLATION BY THE STATE OF TEXAS. THIS SURVEY IS SUBJECT TO CANCELLATION BY THE STATE OF TEXAS IF IT IS DETERMINED THAT THE SURVEYOR HAS NOT COMPLIED WITH THE REQUIREMENTS OF RULE 104.

LEGEND

- BOUNDARY LINE
- EXISTING LOT
- WOOD FENCE (NOT)
- OVERHEAD ELECTRIC (UNLESS NOTED)
- 1/2" IRON ROD SET W/ CAP STAMPED "VALANCE LAND SURVEYS RPLS 4714"
- CALCULATED POINT
- RECORD INFORMATION
- CONC./POD
- CONC. CAP STAMPED "VALANCE"
- CONC. CAP WIRE ARCHER
- POWER POLE
- COMMUNICATIONS BOX
- WOOD SHED
- WOOD SHED ON SLAB
- ONE STORY SBRG
- BUILDING ON SLAB
- A/C PAD
- ELECTRIC METER
- CONC. CONCRETE
- B.S.L. BUILDING SETBACK LINE
- R.O.W. RIGHT-OF-WAY
- DEED AND PLAN RECORDS OF BEXAR COUNTY, TEXAS

SCALE
1" = 30'

TRADEWIND DRIVE
(60' R.O.W.)
(3535/19 DPR)

WEBER COCK LANE
(50' R.O.W.)
(3535/19 DPR)



Jeff A. Dunbar
GARY A. GIBSON
REGISTERED PROFESSIONAL LAND SURVEYOR
TEXAS REGISTRATION NO. 4718

THE 23RD DAY OF JUNE 2023, A.D.
I, Gary A. Gibson, Registered Professional Land Surveyor, number 4718, do hereby certify that this survey made on the ground by personal surveying under my direct supervision and that the same is a true and correct statement of the minimum standards of survey practice as set out by the Texas Board of Professional Engineers and Land Surveyors as of this date.
Survey field work completed on:

JOB NO. 260678441

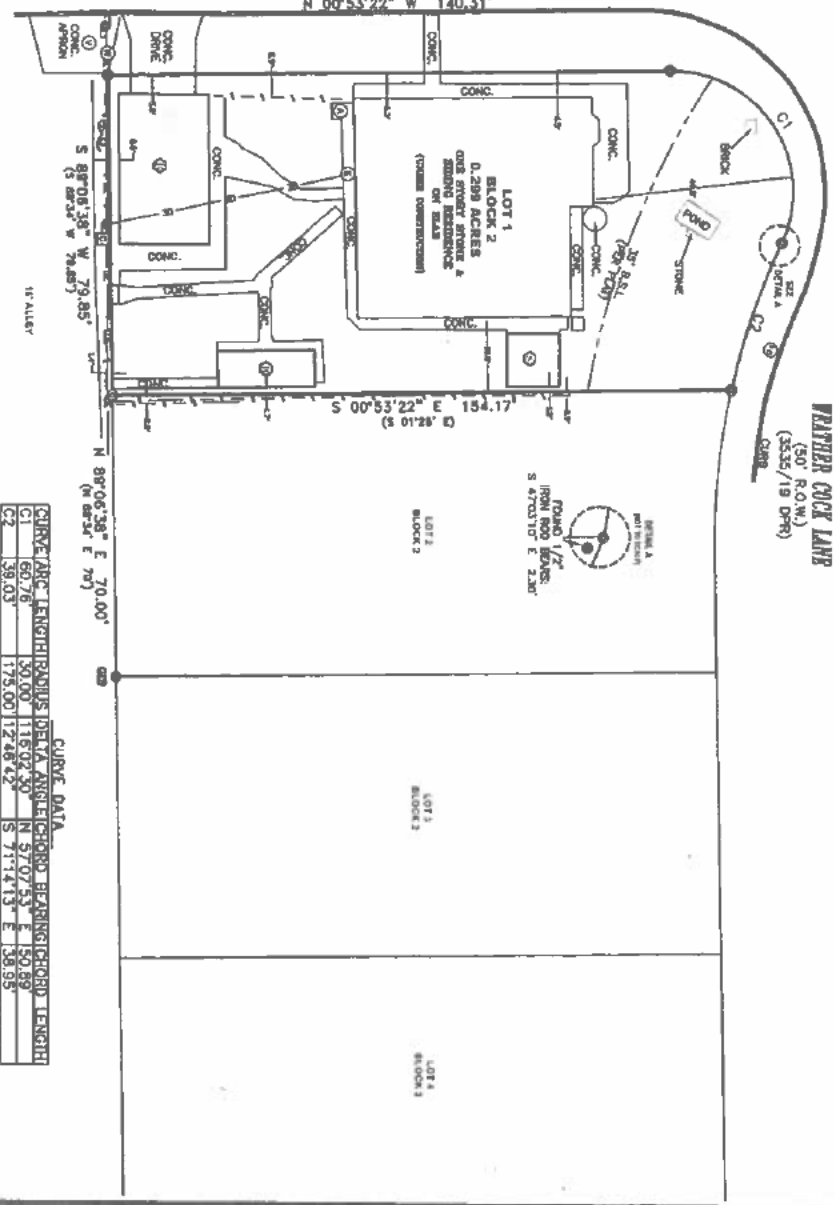
FIELD WORK: B.A. III

BOUNDARY: O.G.

DRAWN: E.A.

REVIEW: G.B.

REVISION DATE: ---



CURVE DATA

CURVE	ARC LENGTH	CHORD	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	60.76	50.00	116.02° 30'	N 57.07° 53' E	50.89
C2	39.03	175.00	12.48° 42'	S 71.14° 13' E	38.95



Date: Tuesday, June 3, 2025

Eduardo & Alexis Castillo
Real Estate & Investments by Lex LLC
318 Hillwood
San Antonio TX 78213

151

Permit Number 25-4011
Job Address: 202 Weathercock, Windcrest 78239

Dear Eduardo & Alexis Castillo,

Staff has completed its review of plans for the residential Plan Review Approved 7/7/2025 by BB Inspection Plans Examiner. Building review approved. Residential remodel. Attic/ceiling insulation to maintain a minimum air space or ventilation (install baffles). Install Smoke/CO detectors per IRC 314/ that is to be located at 202 Weathercock, Windcrest 78239. Comments from this review follow.

Residential Plan Review

The following comments have been provided by BB Inspection Plans Examiner. Should you have any questions or require additional information regarding any of these comments, please contact BB Inspection Plans Examiner by telephone at (830) 885-0007 or by email at bbihost.mgo@gmail.com.

New construction cannot encroach 25' front setback.

New construction cannot encroach 10' side setback.

Sec. 113-112. - Yard regulations.

Unless otherwise platted prior to the effective date of this code, district yard regulations shall be:

(a)Front yard. There shall be a front yard along the front line of the lot. The minimum depth of such front yard shall be twenty-five (25) feet.

(b)Side yard. There shall be a side yard on each side of a building of not less than ten percent (10%) of the width of the lot, but such side yard shall not be less than ten (10) feet.

Provide a wall detail and show the new wall and ceiling insulation R values.

Include the mechanical, electrical, and plumbing plans with the permit set.

Bealor 3170

6/3/2025 2:49:27 PM

Residential Plan Review Approved 7/7/2025 by BB
Inspection Plans Examiner Building review
approved. Residential remodel. Attic/ceiling
insulation to maintain a minimum air space or
ventilation (install baffles). Install Smoke/CO

Please revise the project plans to address the comments noted above. Following revision, please upload one full set of the revised drawings in PDF format. To access your project online, please go to www.mygovernmentonline.org and use the online portal to upload your drawings in PDF format.

Should you have questions regarding specific comments, please contact the staff member referenced under the section in which the comment occurs. Should you have questions or require additional information regarding the plan review process itself, please feel free to contact me directly. I can be reached by telephone at (210) 655-0022, or by e-mail at ssstrey@windcrest-tx.gov.

Thank you,

Shannon Strey

City of Windcrest
8601 Midcrown Street
Windcrest, TX 78239
(210) 655-0022



2ND

Date: Friday, June 20, 2025

Jeimy Pantoja

202 Weathercock Lane
Windcrest TX 78239

Permit Number 25-4011

Job Address: 202 Weathercock, Windcrest 78239

Dear Jeimy Pantoja,

Staff has completed its review of plans for the esidential Plan Review Approved 7/7/2025 by BB Inspection Plans Examiner Building review approved. Residential remodel. Attic/ceiling insulation to maintain a minimum air space or ventilation (install baffles). Install Smoke/CO detectors per IRC 314/ that is to be located at 202 Weathercock, Windcrest 78239. Comments from this review follow.

Residential Plan Review

The following comments have been provided by BB Inspection Plans Examiner. Should you have any questions or require additional information regarding any of these comments, please contact BB Inspection Plans Examiner by telephone at (830) 885-0007 or by email at bbihost.mgo@gmail.com.

Previous plan result was recorded with incorrect status and has been removed. Permit cannot be issued until the side and front setbacks for the front porch comply. See original plan review comments and city code below.

New construction cannot encroach 25' front setback.

New construction cannot encroach 10' side setback.

Sec. 113-112. - Yard regulations.

Unless otherwise platted prior to the effective date of this code, district yard regulations shall be:

(a)Front yard. There shall be a front yard along the front line of the lot. The minimum depth of such front yard shall be twenty-five (25) feet.

(b)Side yard. There shall be a side yard on each side of a building of not less than ten percent (10%) of the width of the lot, but such side yard shall not be less than ten (10) feet.

Bealor 3170

6/20/2025 10:17:28 AM

Residential Plan Review Approved 7/7/2025 by BB
Inspection Plans Examiner Building review
approved. Residential remodel. Attic/ceiling
insulation to maintain a minimum air space or
ventilation (install baffles). Install Smoke/CO

Please revise the project plans to address the comments noted above. Following revision, please upload one full set of the revised drawings in PDF format. To access your project online, please go to www.mygovernmentonline.org and use the online portal to upload your drawings in PDF format.

Should you have questions regarding specific comments, please contact the staff member referenced under the section in which the comment occurs. Should you have questions or require additional information regarding the plan review process itself, please feel free to contact me directly. I can be reached by telephone at (210) 655-0022, or by e-mail at rdominguez@windcrest-tx.gov.

Thank you,

Rachel Dominguez
Not public
City of Windcrest
8601 Midcrown Street
Windcrest, TX 78239
(210) 655-0022



3RD

Date: Monday, June 23, 2025

Eduardo & Alexis Castillo
Real Estate & Investments by Lex LLC
318 Hillwood
San Antonio TX 78213
[REDACTED]

Permit Number 25-4011
Job Address: 202 Weathercock, Windcrest 78239

Dear Eduardo & Alexis Castillo,

Staff has completed its review of plans for the residential Plan Review Approved 7/7/2025 by BB Inspection Plans Examiner. Building review approved. Residential remodel. Attic/ceiling insulation to maintain a minimum air space or ventilation (install baffles). Install Smoke/CO detectors per IRC 314/ that is to be located at 202 Weathercock, Windcrest 78239. Comments from this review follow.

Residential Plan Review

The following comments have been provided by BB Inspection Plans Examiner. Should you have any questions or require additional information regarding any of these comments, please contact BB Inspection Plans Examiner by telephone at (830) 885-0007 or by email at bbihost.mgo@gmail.com.

Please redline to remove porch from the site plan as it is on the foundation plan, and resubmit.

MH 3904

Please revise the project plans to address the comments noted above. Following revision, please upload one full set of the revised drawings in PDF format. To access your project online, please go to www.mygovernmentonline.org and use the online portal to upload your drawings in PDF format.

Should you have questions regarding specific comments, please contact the staff member referenced under the section in which the comment occurs. Should you have questions or require additional information regarding the plan review process itself, please feel free to contact me directly. I can be reached by telephone at (830) 885-0007, or by e-mail at bbihost.mgo@gmail.com.

Thank you,

6/23/2025 1:14:35 PM

Residential Plan Review Approved 7/7/2025 by BB
Inspection Plans Examiner Building review
approved. Residential remodel. Attic/ceiling
insulation to maintain a minimum air space or
ventilation (install baffles). Install Smoke/CO
BB Inspection Plans Examiner

City of Windcrest
8601 Midcrown Street
Windcrest, TX 78239
(210) 655-0022



APPROVAL

Date: Monday, July 7, 2025

Eduardo & Alexis Castillo
Real Estate & Investments by Lex LLC
318 Hillwood
San Antonio TX 78213
[REDACTED]

Permit Number 25-4011
Job Address: 202 Weathercock, Windcrest 78239

Dear Eduardo & Alexis Castillo,

Staff has completed its review of plans for the esidential Plan Review Approved 7/7/2025 by BB Inspection Plans Examiner Building review approved. Residential remodel. Attic/ceiling insulation to maintain a minimum air space or ventilation (install baffles). Install Smoke/CO detectors per IRC 314/ that is to be located at 202 Weathercock, Windcrest 78239. Comments from this review follow.

Residential Plan Review

The following comments have been provided by BB Inspection Plans Examiner. Should you have any questions or require additional information regarding any of these comments, please contact BB Inspection Plans Examiner by telephone at (830) 885-0007 or by email at bbihost.mgo@gmail.com.

Building review approved.

- Residential remodel.
- Attic/ceiling insulation to maintain a minimum air space or ventilation (install baffles).
- Install Smoke/CO detectors per IRC 314/315.
- All work must comply with the city's adopted local codes, ICC codes, and the 2023 NEC.
- No work may be covered without an approved city inspection report.
- Job address to be posted and visible from the street.
- Plans to be onsite.
- No plans or lack of a visible address may be cause for a failed inspection.

BB 2708

7/7/2025 2:49:30 PM

Residential Plan Review Approved 7/7/2025 by BB
Inspection Plans Examiner Building review
approved. Residential remodel. Attic/ceiling
insulation to maintain a minimum air space or
ventilation (install baffles). Install Smoke/CO

Please revise the project plans to address the comments noted above. Following revision, please upload one full set of the revised drawings in PDF format. To access your project online, please go to www.mygovernmentonline.org and use the online portal to upload your drawings in PDF format.

Should you have questions regarding specific comments, please contact the staff member referenced under the section in which the comment occurs. Should you have questions or require additional information regarding the plan review process itself, please feel free to contact me directly. I can be reached by telephone at (210) 655-0022, or by e-mail at rdominguez@windcrest-tx.gov.

Thank you,

Rachel Dominguez
Not public
City of Windcrest
8601 Midcrown Street
Windcrest, TX 78239
(210) 655-0022

Jeimy Pantoja
202 Weathercock Lane
Windcrest TX 78239

July 21, 2025

TO: City Of Windcrest Board or Planning Department

SUBJECT: Variance Request for 202 Weathercock Lane, Windcrest TX 78239 / Front Porch

Dear City of Windcrest Board or Planning Department:

I am writing to respectfully request a variance for the property located at 202 Weathercock Lane, Windcrest TX 78239. The purpose of this request is to allow the installation of a roof over an existing 10-foot concrete patio pad located at the front of the home.

This house was left to me by my lovely mother, who passed away two years ago her name was Juana Pantoja she and my father Luis Pantoja had been residents of this community for many many decades, my father passed away in the midst of the covid pandemic. This home means a great deal to me, and I've been working to maintain and improve it while preserving its character. The cement pad is already in place and has long existed as part of the home's original layout.

We initially obtained a permit to begin improvement of the home, including of the roof deck and began installing the vertical support poles. However, shortly after starting, the city issued a stop work order. I understand and respect the purpose of zoning regulations, but I kindly ask for a variance in this case so that we can complete the small addition of the roof deck.

Due to the 25-foot front setback requirement for new construction, any addition such as a roof covering would technically encroach upon this setback. However, the concrete pad itself already exists and no new foundation or extension beyond the existing footprint is proposed.

This project simply seeks to add a roof to the already existing 10-foot cement pad which has been part of the property. The roof addition will not obstruct any views, block light, or affect nearby properties. The roof will provide shade, protection and usability without altering the neighborhood's character or causing negative impact to neighboring properties. it blends with the character of the neighborhood.

Thank you for allowing me to explain myself and for taking the consideration of allowing me to complete the roof project. I truly appreciate your time, understanding, and service to the community.

Sincerely,


Jeimy Pantoja

Comment history

15456-3-2025

Page 372

Add new comment

548372

1st new comment

4-324

[Add new comment](#)

00 2705



Date: Wednesday, June 18, 2025

Eduardo & Alexis Castillo
Real Estate & Investments by Lex LLC
318 Hillwood
San Antonio TX 78213
[REDACTED]

Permit Number 25-4011
Job Address: 202 Weathercock, Windcrest 78239

Dear Eduardo & Alexis Castillo,

Staff has completed its review of plans for the esidential Plan Review Approved 7/7/2025 by BB Inspection Plans Examiner Building review approved. Residential remodel. Attic/ceiling insulation to maintain a minimum air space or ventilation (install baffles). Install Smoke/CO detectors per IRC 314/ that is to be located at 202 Weathercock, Windcrest 78239. Comments from this review follow.

Residential Plan Review

The following comments have been provided by BB Inspection Plans Examiner. Should you have any questions or require additional information regarding any of these comments, please contact BB Inspection Plans Examiner by telephone at (830) 885-0007 or by email at bbihost.mgo@gmail.com.

Roof and ceiling joist removal and lift ok to permit.

Front porch setback still unresolved:

New construction cannot encroach 25' front setback.

New construction cannot encroach 10' side setback.

Sec. 113-112. - Yard regulations.

Unless otherwise platted prior to the effective date of this code, district yard regulations shall be:

(a)Front yard. There shall be a front yard along the front line of the lot. The minimum depth of such front yard shall be twenty-five (25) feet.

(b)Side yard. There shall be a side yard on each side of a building of not less than ten percent (10%) of the width of the lot, but such side yard shall not be less than ten (10) feet.

MH 3904

6/18/2025 2:36:03 PM

Residential Plan Review Approved 7/7/2025 by BB
Inspection Plans Examiner Building review
approved. Residential remodel. Attic/ceiling
insulation to maintain a minimum air space or
ventilation (install baffles). Install Smoke/CO

Please revise the project plans to address the comments noted above. Following revision, please upload one full set of the revised drawings in PDF format. To access your project online, please go to www.mygovernmentonline.org and use the online portal to upload your drawings in PDF format.

Should you have questions regarding specific comments, please contact the staff member referenced under the section in which the comment occurs. Should you have questions or require additional information regarding the plan review process itself, please feel free to contact me directly. I can be reached by telephone at (210) 655-0022, or by e-mail at ssstrey@windcrest-tx.gov.

Thank you,

Shannon Strey

City of Windcrest
8601 Midcrown Street
Windcrest, TX 78239
(210) 655-0022

VARIANCE CHECKLIST

DATE 7/14/25
PERMIT NUMBER 25-4220
PERMIT DATE 6/11/25 DENIAL DATE _____ 2ND DENIAL DATE _____

CONTRACTOR TEXAS CUSTOM EXTERIORS
PHONE [REDACTED]
BILLING ADDRESS P.O. BOX 12601

APPLICANT NEW CREATION FELLOWSHIP CHURCH - MARVIN BROWN
PHONE [REDACTED]
ADDRESS 8700 FOURWINDS WINDREST, TX

ITEM FOR DISCUSSION APPROVAL OF BLDG. SETBACK FOR
CHARGE STATION VARIANCE

- ☒ ORIGINAL VARIANCE APPLICATION FORM/payment of ^{150⁰⁰}~~\$35.00~~ (due at point of complete packet filing)
- ☐ **SITE PLAN/PLANS/** project plans showing the dimensions of the structure and setbacks.
(Please have plans include any plumbing/electrical/HVAC proposed SITE PLANNED SEPARATELY)
(plumbing/electrical/HVAC PERMITS PULLED SEPARATELY)
- ☐ **FIRST DENIAL LETTER FROM CITY INSPECTOR**
- ☒ 2ND DENIAL LETTER FROM CITY INSPECTOR
- ☒ LETTER FROM APPLICANT/ stating the hardship of which the appeal hearing is being requested.

PERMIT CLERK _____ DATE _____



WINDCREST

TEXAS

Universal Development Application

(Please use separate application for each submittal)

- | | | |
|---|---|--|
| ☐ Land Use Amendment | ☐ Land Study | ☐ Replat |
| ☐ Thoroughfare Amendment | ☐ Final Plat | ☐ Amending Plat |
| ☐ Zoning Change (choose one) | ☐ Preliminary Plat | ☐ Minor Plat |
| ☐ Straight Zoning | ☐ Specific Use Permit | ☐ Vacating Plat |
| ☐ PUD (Planned Unit Development) | ☐ Conditional Use Permit | ☐ Site Plan |
| ☒ Variance | ☐ Exception | ☐ Tree Removal Permit |

Project Name: New Creation Christian Fellowship Church

Total Acres: .13

Survey Name: _____

Abstract No.: _____

Project Location (address): 8700 Fourwinds Dr, Windcrest, TX 78239

Current Zoning: _____

Current Use: Parking Lot

of Lots/Units: _____

For Commercial/Industrial:

Proposed Zoning: _____

Proposed Use: Canopy Installation

Please Circle One:

Total Proposed Sq. Ft.

SF MF COMM IND OTHER

*** PLEASE SEE THE ATTACHED VARIANCE - SUPPLEMENTAL LETTER OF EXPLANATION**

Applicant Information:

Property Owner Name: New Creation Christian Fellowship Church - Marvin Brown

Address: 8700 Fourwinds Dr,

City: Windcrest

St/Zip: TX 78239

Phone: [REDACTED]

Fax: _____

E-Mail: [REDACTED]

Applicant (if different than Owner): A Plus EVC LLC - Roger Martinez

Address: 620 N Flores

City: San Antonio

St/Zip: TX 78225

Phone: [REDACTED]

Fax: _____

E-Mail: [REDACTED]

Representative: Jeannie Roman

Address: 620 N Flores

City: San Antonio

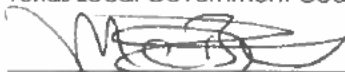
St/Zip: TX 78225

Phone: [REDACTED]

Fax: _____

E-Mail: [REDACTED]

Authorization: By signing this application, you hereby grant Staff access to your property to perform work related to your application. Also, you waive the statutory time limits in accordance with Section 211, 212 and 245 of the Texas Local Government Code.



Owner's Signature

Marvin Brown

Typed/Printed Name

Known to me to be the person whose name is subscribed to the above and foregoing instrument, and acknowledged to me that they executed the same for the purposes and consideration expressed and in the capacity herein stated. Given under my hand and seal on this 9th day of July, 2025.



Notary Public



City of Windcrest Use Only

Project No.: _____

Total Fees: _____

Payment Method: _____

Submittal Date: _____

Accepted by: _____



Letter of Agent

July 24 2025

City of Windcrest
Development Services
8601 Midcrown Drive
Windcrest, Texas 78239

Attn: Development Services – **New Creation Fellowship Christian Church Charge Station**

This letter hereby authorizes **Roger Martinez, Project Manager, Bendicion Engineering, LLC** to act as an agent for **New Creation Fellowship Christian**, for all documents pertaining to **New Creation Fellowship Christian EV+ Charge Station**.

Respectfully,

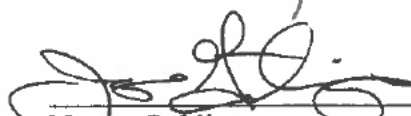

Pastor Regina Pope
Chief Operating Officer
New Creation Christian Fellowship
8700 Fourwinds
Windcrest, Texas 78239

State of Texas §

§

County of Bexar §

Before me, the undersigned authority, a notary public for the State of Texas, on this day personally appeared **Regina Pope**, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledge to me that she executed the same for the purpose and consideration therein expressed. Given under my hand and seal of office, this the 24th day of July, 2025.


Notary Public





Next Level Charging Stations

419 Marshall St.
San Antonio, Texas 78212

www.aplusevc.com

Variance - Supplemental Letter of Explanation

July 9, 2025

City of Windcrest
Ms. Shannon Lee Strey
8601 Midcrown
Windcrest, TX 78239

Re: Variance Request for **New Creation Christian Fellowship Church**
8700 Fourwinds Dr. Windcrest, Texas 78239

Dear Ms. Strey:

We at A+EVC are pleased and excited to be the first company to install an Electric Vehicle (EV) Hyper Charger - Level 3 - Direct Current Fast Charger (DCFC) in the City of Windcrest. This unique fast EV charger will be a universal charger that will be able to charge just about all EV's. This charger is one of the fastest chargers in the industry today. New Creation Christian Fellowship Church (NCCFC) has been gracious enough to be the host site of our first Charging Station in the City of Windcrest. On behalf of the Church, we are writing this letter of explanation for the said variance request to explain the hardship this variance will alleviate.

Variance Request: *To install a simple cantilever canopy within a 25' building setback line along the south property line of the Church site, adjacent to Windcrest Drive. The canopy shall only cover three existing parking stalls, which will be used by our EV customers using the EV Charger. Plans of this Canopy have been provided to the City.*

A+EVC with its brand **Charge-N-Go** is a premier EV charging company. There are no EV charging stations in Bexar County, Texas that have canopies protecting the Drivers from inclement weather and sun shading. It is very important for us and our customers to have protection from the sun and inclement weather. Most gas stations today have canopies protecting drivers from bad weather. This is especially vital during rain events. Currently every EV driver in Bexar County that needs to charge their vehicle during a rain event has to do so while getting very wet. We want to help the EV industry by providing this simple but very important feature to our EV Charging sites.

We feel that this charging station will provide the community of Windcrest with a valuable amenity. The city of Windcrest will be the host of the very first fast charging station with a

canopy. Every EV driver that we have surveyed over the years have just been amazed that we want to provide canopies.

We sincerely hope you will approve our variance request to install a simple canopy over our charging station that will be located within a 25' building setback line.

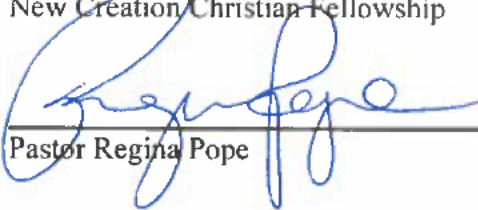
Sincerely,

Salvador Flores, P.E.

Salvador Flores, P.E.
A+EVC, LLC



Pastor Regina Pope
Chief Operating Officer
New Creation Christian Fellowship


Pastor Regina Pope

7/11/25



Date: Wednesday, June 11, 2025

Patrick Wheeler
Texas Custom Exteriors
P.O. Box 12601
San Antonio TX 78212

Permit Number 25-4220
Job Address: 8700 Fourwinds, Windcrest 78239

Dear Patrick Wheeler,

Staff has completed its review of plans for the that is to be located at 8700 Fourwinds, Windcrest 78239. Comments from this review follow.

Commercial Plan Review

The following comments have been provided by BB Inspection Plans Examiner. Should you have any questions or require additional information regarding any of these comments, please contact BB Inspection Plans Examiner by telephone at (830) 885-0007 or by email at bbihost.mgo@gmail.com.

Use correct project address on engineered shad structure sheets.

Structures not permitted in building setbacks, as shown in survey detail.

Provide the fire-resistant rating. Must meet separation distances requirements per IBC Chapter 7.

MH 3907

Please revise the project plans to address the comments noted above. Following revision, please upload one full set of the revised drawings in PDF format. To access your project online, please go to www.mygovernmentonline.org and use the online portal to upload your drawings in PDF format.

Should you have questions regarding specific comments, please contact the staff member referenced under the section in which the comment occurs. Should you have questions or require additional information regarding the plan review process itself, please feel free to contact me directly. I can be reached by telephone at (830) 885-0007, or by e-mail at bbihost.mgo@gmail.com.

Thank you,

6/11/2025 3:34:14 PM

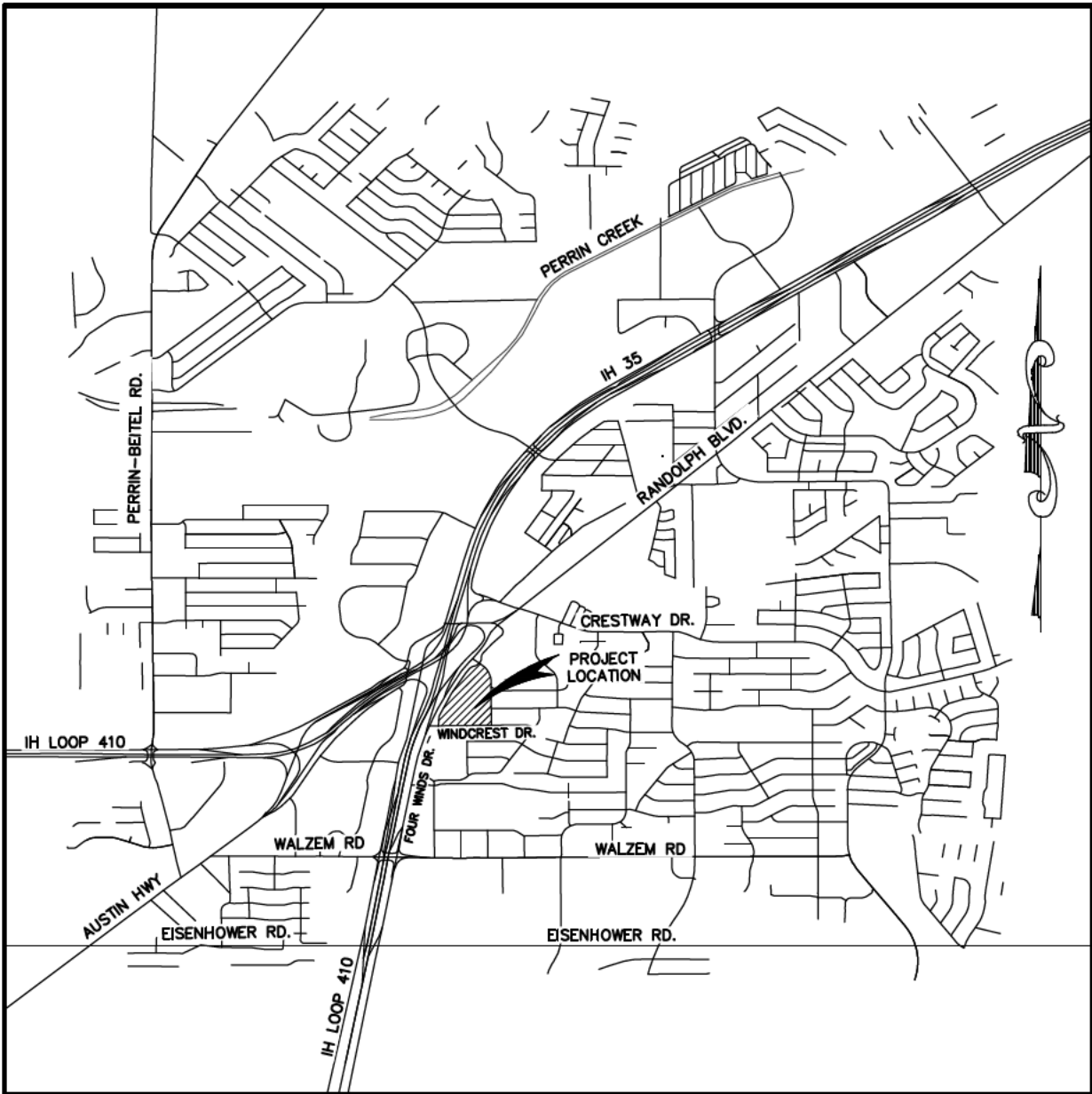
25-4220

Page 2

BB Inspection Plans Examiner

City of Windcrest
8601 Midcrown Street
Windcrest, TX 78239
(210) 655-0022

SITE-CIVIL CONSTRUCTION DOCUMENTS FOR
CHARGE N GO SITE #100 @
NEW CREATION CHRISTIAN FELLOWSHIP CHURCH
8700 FOURWINDS DR. WINDCREST, TEXAS 78239



LOCATION MAP

GENERAL NOTES:

1. ALL IMPROVEMENTS SHALL BE MADE IN ACCORDANCE WITH THESE APPROVED PLANS.
2. APPROVAL OF THIS SITE PLAN DOES NOT INCLUDE BUILDING SAFETY DEPARTMENT AND FIRE CODE APPROVAL FOR BUILDING PERMIT APPROVAL.
3. ALL CONSTRUCTION OPERATIONS SHALL BE ACCOMPLISHED IN ACCORDANCE WITH APPLICABLE REGULATIONS OF THE U.S. OCCUPATIONAL HEALTH AND SAFETY ADMINISTRATION. COPIES OF OSHA STANDARDS MAY BE PURCHASED FROM THE U.S. GOVERNMENT PRINTING OFFICE. INFORMATION AND RELATED REFERENCE MATERIALS MAY BE PURCHASED FROM OSHA, 611 EAST 6TH STREET, AUSTIN, TEXAS.
4. THE CONTRACTOR SHALL NOT DISPOSE OF SURPLUS EXCAVATED MATERIAL FROM THE SITE WITHOUT THE APPROVAL OF THE ENGINEER.
5. FLOOD PLAIN NOTE: NO PORTIONS OF THE 100 YEAR FLOOD PLAIN EXISTS ON THIS SITE.
6. ANY TEMPORARY SPOILS STOCKPILE MUST BE LOCATED WITHIN THE PROPOSED PARKING AREAS OUTSIDE OF ANY TREE. ALL EXCESS MATERIAL WILL BE DISPOSED OF OFF SITE. CONTRACTOR SHALL NOT DISPOSE OF SURPLUS MATERIAL FROM THE SITE WITHOUT NOTIFYING THE INSPECTOR 48 HOURS PRIOR TO THE REMOVAL. THIS NOTIFICATION SHALL INCLUDE THE DISPOSAL LOCATION. ANY MATERIAL NOT SUITABLE FOR BUILDING PAD FILL SHOULD BE DISPOSED OF OFF-SITE.
7. CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF ANY AND ALL EXISTING UNDERGROUND UTILITIES ON SITE AND UTILITY RELOCATION WORK.
8. PROVIDE STANDARD 6" CURB THROUGHOUT THE SITE WHERE NOTED ON THE PLANS.
9. ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE RESTORED AND GRADED TO DRAIN.
10. ALL DEBRIS AND EXCESS MATERIAL SHALL BE REMOVED FROM THE SITE IN A MANNER NOT TO DAMAGE THE OWNER PRIOR TO ACCEPTANCE OF THE PROJECT.
11. ALL CONCRETE WORK SHALL CONFORM TO ALL APPLICABLE REQUIREMENTS OF ACI 301-72.
12. ALL EXPOSED CORNERS FOR CONCRETE WORK SHALL BE CHAMFERED 1".
13. THE INFORMATION CONTAINED ON THESE DRAWINGS IN REGARDS TO EXISTING UTILITIES, TOPOGRAPHY, CONTOURS, HYDROGRAPHY, OR SUBSURFACE CONDITIONS IS FURNISHED SOLELY AS THE BEST INFORMATION AVAILABLE AT THIS TIME. ITS ACCURACY IS NOT GUARANTEED AND ITS USE IN NO WAY RELIEVES THE CONTRACTOR OF ANY RESPONSIBILITY FOR LOSSES DUE TO ANY INACCURACIES. THERE MAY BE UTILITIES WHICH EXISTS THAT ARE NOT SHOWN HEREIN.
14. ALL REQUIRED RELOCATION OR ALTERATIONS OF ELECTRIC POWER POLES, UNDERGROUND CONDUIT, AND ANY OTHER FACILITIES SHALL BE DONE BY THE CONTRACTOR, UNLESS NOTED AS "BY OTHERS". THE CONTRACTOR SHALL SCHEDULE AND COORDINATE HIS WORK WITH THAT OF OTHER CONTRACTORS AND UTILITY COMPANIES SO AS NOT TO DELAY THE PROJECT.
15. THE CONTRACTOR SHALL NOTIFY CITY OF WINDCREST PUBLIC WORKS BEFORE BEGINNING ANY UTILITY CONSTRUCTION IN PUBLIC R.O.W. OR PUBLIC EASEMENT. NO PIPE SHALL BE LAID UNTIL THE ASSIGNED INSPECTOR HAS MET WITH THE CONTRACTOR OR HIS REPRESENTATIVE AT THE PROJECT SITE.
16. CONTRACTOR SHALL CALL APPROPRIATE ENTITIES FOR UTILITY LOCATIONS PRIOR TO ANY WORK IN CITY EASEMENTS OR STREET RIGHT-OF-WAY.

WASTE WATER (SAW):	(210) 658-6241
WATER (SAWS):	(210) 619-1800
ELECTRIC (CPS Energy):	(800) 223-4832
GAS (CPS Energy):	(800) 427-7142
TELEPHONE (AT&T):	(888) 944-0447
CABLE (SPECTRUM):	(800) 699-4832
- CONTRACTOR SHALL HOLD A PRE-CONSTRUCTION MEETING ONSITE WITH APPROPRIATE UTILITY COMPANIES TO COORDINATE AND LOCATE SERVICE CONNECTIONS AND/OR ALTERATIONS TO THE PUBLIC UTILITY.
17. CONTRACTOR TO CONTACT TEXAS 811 ONE-CALL FOR UTILITY LOCATES.

CONSTRUCTION NOTES:

1. WORK ON THIS SITE IS CLASSIFIED AS "PRIVATE" AND INCLUDES PARKING AREA , DRIVEWAYS, STORM DRAINAGE, SANITARY SEWER ,WATER AND UTILITY SERVICE CONDUIT INSTALLATION.
2. CONTRACTOR IS REQUIRED TO VERIFY PROJECT ELEVATIONS. "MATCH EXISTING" SHALL BE UNDERSTOOD TO SIGNIFY BOTH VERTICAL AND HORIZONTAL ALIGNMENT.
3. ANY EXISTING IMPROVEMENT OR UTILITY REMOVED, DAMAGED OR UNDER CUT BY CONTRACTOR'S OPERATIONS SHALL BE REPAIRED OR REPLACED AS DIRECTED BY THE ENGINEER AND APPROVED BY THE RESPECTIVE UTILITY AT THE CONTRACTOR'S EXPENSE.
4. THE CONTRACTOR SHALL FURNISH ALL ASSISTANCE REQUIRED OF HIM BY THE INSPECTOR IN OBTAINING SAMPLES AT THE EXPENSE OF THE CONTRACTOR.
5. IF IN OPINION OF INSPECTOR, BASED ON TESTING SERVICE REPORTS AND INSPECTION, MATERIALS OR COMPACTION ARE BELOW THE SPECIFIED REQUIREMENTS THE CONTRACTOR SHALL PROVIDE ADDITIONAL SERVICES AND TESTING TO OBTAIN THE GENERAL INTENT OF THE GRADING PLANS.
6. CONTRACTOR SHALL COMPLY WITH CITY OF WINDCREST CODE AND REGULATIONS, AS WELL AS OTHER SAFETY CODES AND INSPECTION PROVISIONS APPLICABLE TO THIS PROJECT.
7. CONTRACTOR SHALL SECURE ALL PERMITS REQUIRED FOR CONSTRUCTION AND SHALL NOTIFY ALL RESPECTIVE GOVERNMENTAL OR UTILITY AGENCIES AFFECTED BY CONSTRUCTION PRIOR TO STARTING CONSTRUCTION.
8. CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER HARMLESS FROM ANY AND ALL LIABILITY IN CONNECTION WITH THE WORK PERFORMED ON THIS PROJECT EXCEPTING FROM LIABILITY ARISING FROM SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.
9. WHERE CONSTRUCTION IS IN THE PROXIMITY OF AN EXISTING UTILITY, THE CONTRACTOR WILL TAKE PRECAUTIONS TO PROTECT AND/OR SUPPORT THE UTILITY AND ANY DAMAGE THAT MIGHT OCCUR SHALL BE REPAIRED IMMEDIATELY. IF AT ANY TIME DURING THE CONSTRUCTION OPERATION A SEWER LINE HAS LESS THAN THREE (3) FEET OF COVER, IT SHALL BE ENCASED OR SADDLED WITH CONCRETE.
10. ALL TRENCHES CUT BENEATH PROPOSED SIDEWALKS AND PARKING OR STREET PAVEMENT AREAS SHALL BE BACK FILLED IN 8" LIFTS, COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY, AND BE SUBJECT TO DENSITY TESTING.
11. BARRICADES AND WARNING SIGNS SHALL CONFORM TO THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND ARE GENERALLY LOCATED TO AFFORD MAXIMUM PROTECTION TO THE PUBLIC AS WELL AS CONSTRUCTION PERSONNEL AND EQUIPMENT AND TO ASSURE AN EXPEDITIOUS TRAFFIC FLOW AT ALL TIMES. DURING THE PROGRESS OF WORK, THE CONTRACTOR SHALL PROVIDE ACCESS FOR LOCAL TRAFFIC.

SHEET INDEX

C1.0 COVER AND GENERAL NOTES
C2.0 OVERALL SITE AND UTILITY PLAN
C2.1 SITE PLAN
C3.0 DETAIL SHEET

REVISIONS:

CHARGE N GO SITE# 100 @
NEW CREATION CHRISTIAN
FELLOWSHIP CHURCH
8700 FOURWINDS DR.
WINDCREST, TEXAS 78239



COVER SHEET &
GENERAL NOTES



ACC NO.: NCCFC

SCALE : --

DRAWN BY : RLM

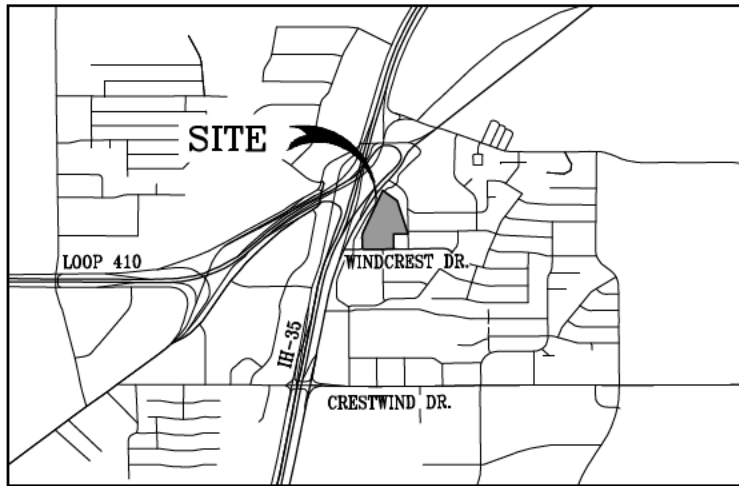
DATE: 7/14/25

SHEET :

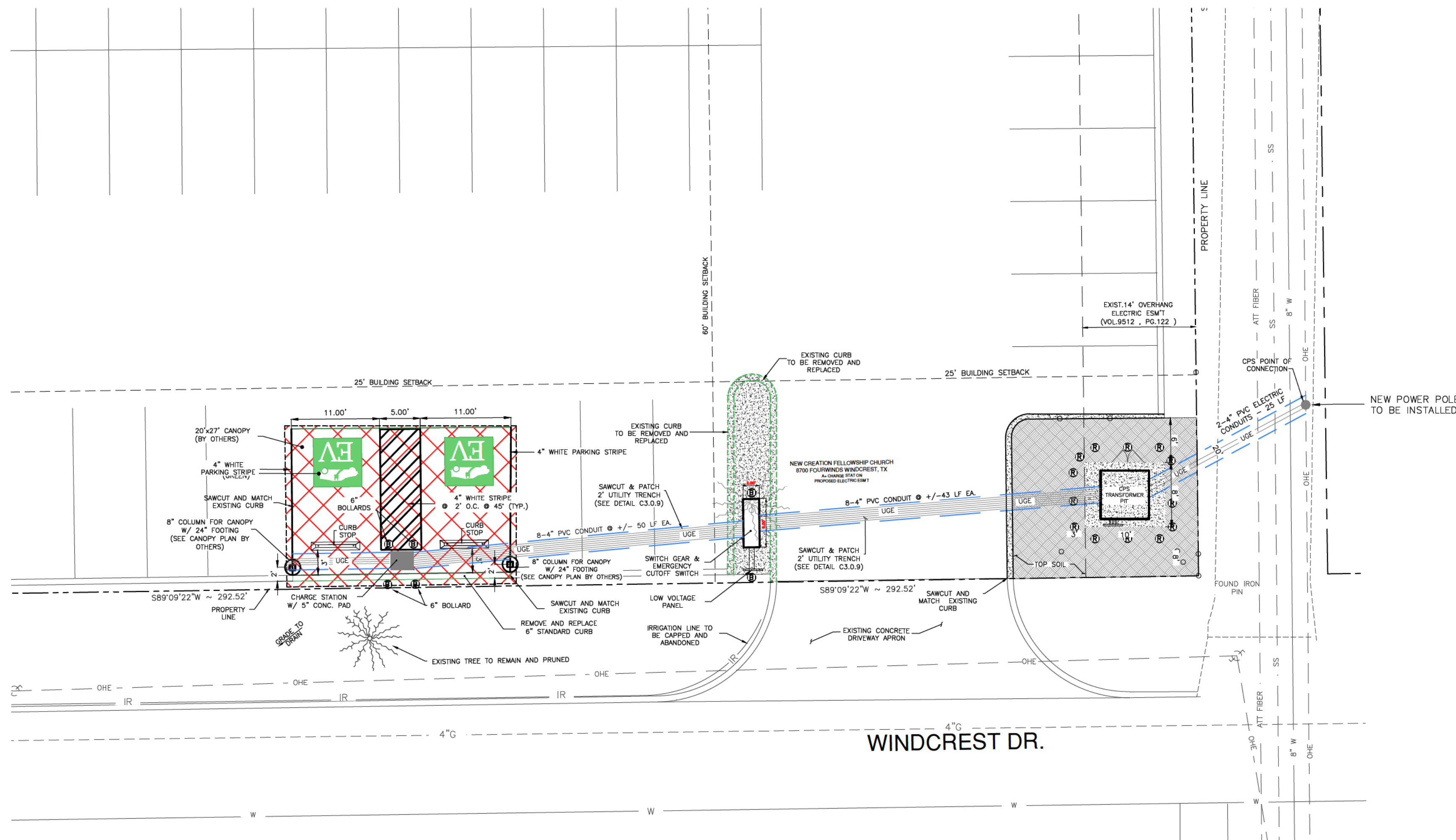
C1.0

1 of 4

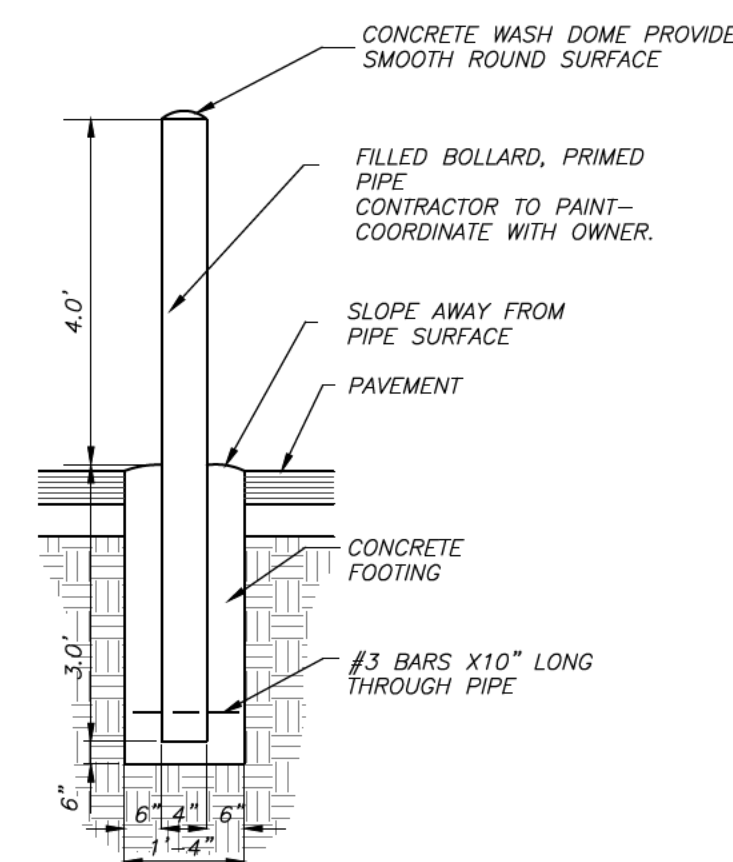




LOCATION MAP
(NOT TO SCALE)



LEGEND	
	PROPERTY LINE
	PROP EDGE OF PAVEMENT
	PROP STD. CURB
	PROP WHEEL STOP
	DIAGONAL STRIPING AT CHARGE STATION
	EXISTING OVERHEAD ELECTRIC W/ POLE
	EXISTING IRRIGATION LINE
	EXISTING WATER MAIN
	EXISTING FIRE HYDRANT
	EXISTING TREE TO BE REMOVED
	LIMITS OF PROPOSED CANOPY
	PROPOSED OVERHEAD ELECTRIC W/ POLE
	PROPOSED UNDER GROUND ELECTRIC
	PROPOSED FIXED BOLLARDS
	PROPOSED REMOVABLE BOLLARDS
	PAINTED EV PARKING ONLY

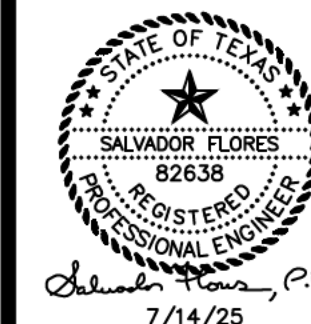


TYPICAL NON-REMOVABLE BOLLARD DETAIL
SCALE: N.T.S.



REVISIONS:

CHARGE N GO SITE #100 @
NEW CREATION CHRISTIAN
FELLOWSHIP CHURCH
8700 FOURWINDS DR.
WINDCREST, TX 78239



SITE PLAN



BENDICION ENGINEERING, LLC
620 N. Flores St. San Antonio, Texas 78205

TBPELS FIRM REGISTRATION NO. F-10402

ACC NO.: EV SITE

SCALE : 1"=10'

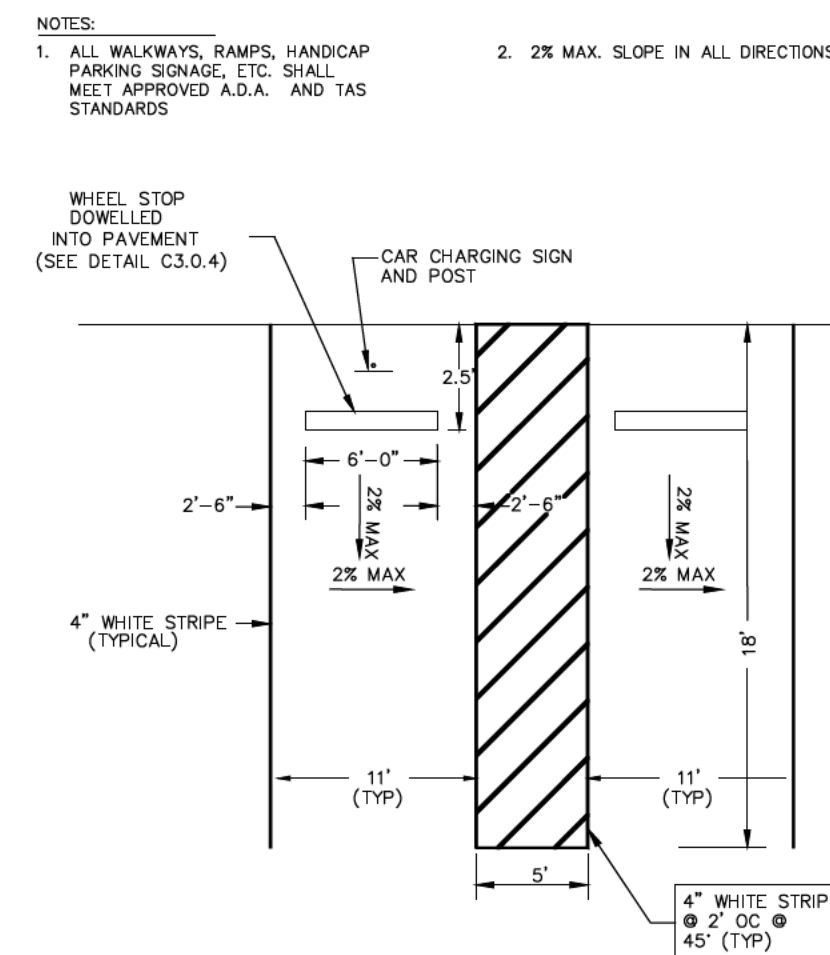
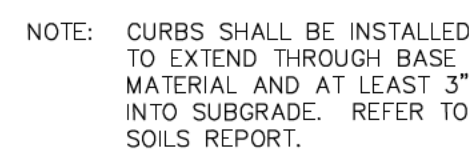
DRAWN BY : RLM

DATE: 7/14/25

SHEET :

C2.1

3 OF 4



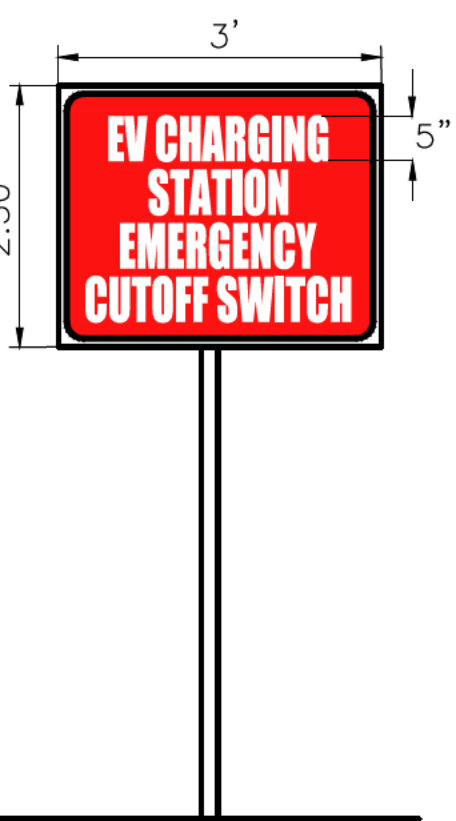
STANDARD C
SCALE: N.T.S.

TRENCH DETAIL

CAL BOLLA

STOP DETAIL
SCALE: N.T.S.

STRIPING DETAIL
SCALE: N.T.S.



TRANSFORMER PAD DETAIL

SCALE: N.T.S.

2 1/2" HMA

8" BASE

6" FLOWABLE FILL

SAWCUT AND MATCH

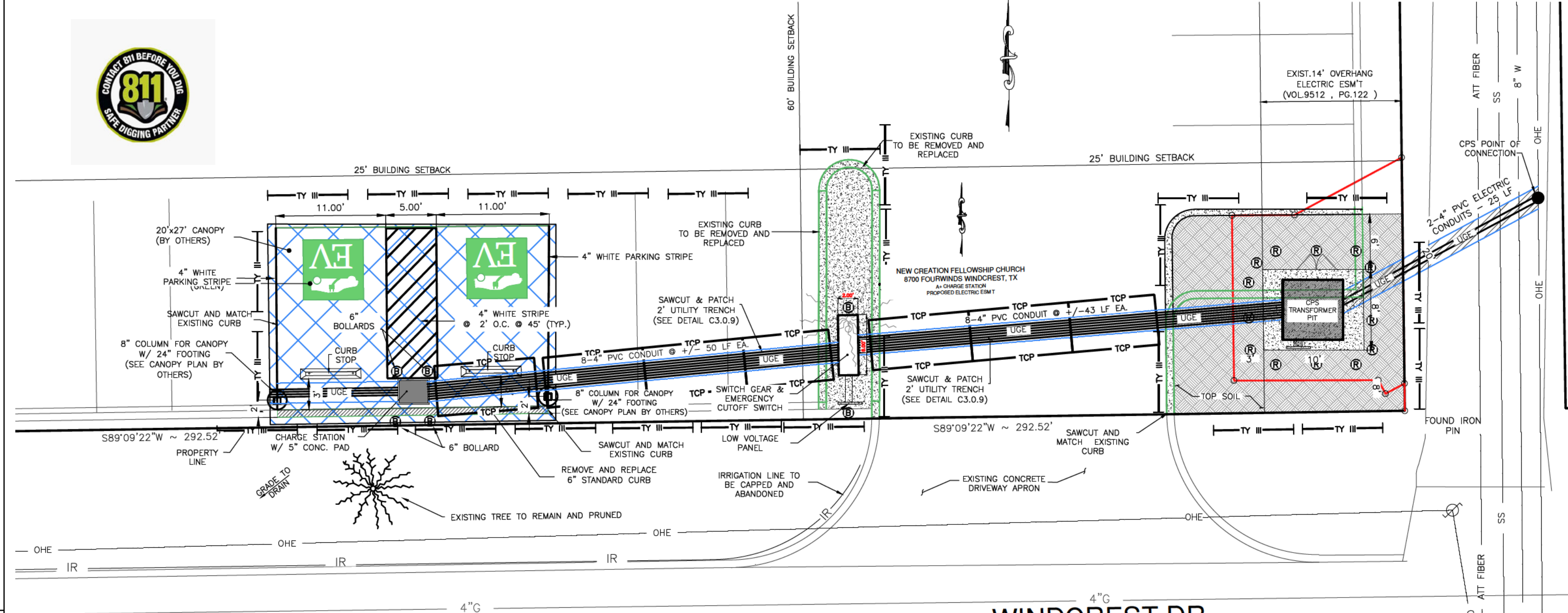
EXISTING ASPHALT

4.00'

2.00'

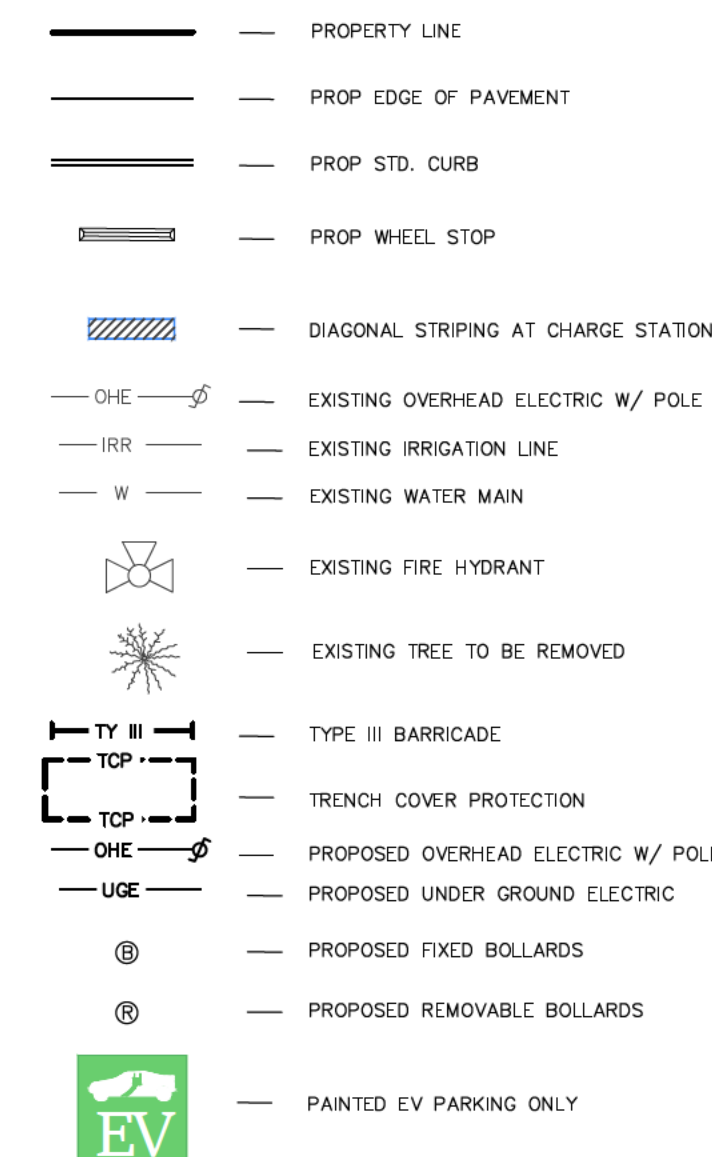
SELECT FILL AT 95% COMPACTION

6-3" PVC & 1-2" ELECTRICAL CONDUIT



WINDCREST DR.

LEGEND



CHARGE STATION DETAIL
NOT TO SCALE

C3.0.10

REVISIONS:

CHARGE N GO SITE #100 @
NEW CREATION CHRISTIAN
FELLOWSHIP CHURCH
8700 FOURWINDS DR.
WINDCREST, TX 78239



DETAIL SHEET



BENDICION ENGINEERING, LLC
220 N. Flores St. San Antonio, Texas 78205

TBPELS FIRM REGISTRATION NO. F-10402

ACC NO.: EV SITE

SCALE : NOT TO SCALE

DRAWN BY : MH

DATE: 7/14/25

SHEET :

C3.0

4 of 4



TBPELS FIRM No. 10194244
18410 US Hwy 281 N, Suite 109
San Antonio, TX 78259

PREPARED FOR: SAL FLORES - BENICION
VESTING OWNER: NEW CREATION CHRISTIAN FELLOWSHIP OF SAN ANTONIO
ADDRESS: 8700 FOURWINDS DRIVE
CITY, STATE, ZIP: WINDCREST, TEXAS 78239

BOUNDARY SURVEY

LOT 3, BLOCK 87, WINDCREST SUBDIVISION UNIT 21, IN THE CITY OF WINDCREST, BEXAR COUNTY, TEXAS, ACCORDING TO PLAT THEREOF RECORDED IN VOLUME 9512, PAGE 122, DEED AND PLAT RECORDS, BEXAR COUNTY, TEXAS.

NOTES

1. BEARINGS AND DISTANCES SHOWN FOR THIS SURVEY WERE DETERMINED BY GPS "RTK" OBSERVATIONS, NORTH AMERICAN DATUM OF 1983, TEXAS STATE PLANE COORDINATE SYSTEM, TEXAS SOUTH CENTRAL ZONE 4204, GRID.

2. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE COMMITMENT, AND DOES NOT CONSTITUTE A TITLE SEARCH BY THE SURVEYOR, ANY INFORMATION REGARDING RECORDED EASEMENTS, SETBACKS AND ADJOINERS THAT MAY AFFECT THE QUALITY OF TITLE MAY NOT BE SHOWN.

ACCORDING TO FEMA MAP NO. 48029C02700 WITH AN EFFECTIVE DATE OF 09/29/2010, AND A REVISION DATE OF 11/25/2024, THIS PROPERTY LIES WITHIN ZONE "X" AND IS NOT WITHIN A SPECIAL FLOOD HAZARD AREA. THIS INFORMATION IS SUBJECT TO CHANGE AS A RESULT OF FUTURE MAP REVISIONS BY FEMA. APPROXIMATE LIMITS (IF SHOWN) ARE BASED ON AVAILABLE SHAPE FILES PROVIDED BY FEMA (msc.fema.gov).

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	23.56' (23.56°)	15.00' (15.00°)	90°00'00" (90°00'00")	N 45°50'38" W -- --	21.21' -- --
C2	31.76' (31.76°)	70.00' (70.00°)	25°59'32" (25°59'32")	N 12°12'56" E -- --	31.48' -- --
C3	58.88' (58.87°)	130.00' (130.00°)	25°57'06" (25°56'45")	N 11°39'25" E -- --	58.38' -- --

LEGEND

- BOUNDARY
- SETBACK LINE
- EASEMENTS
- WOOD FENCE (WDF)
- OVERHEAD ELECTRIC
- OVERHEAD ELECTRIC
- 1/2" IRON ROD FOUND
- TYPE 3 TxDOT MONUMENT FOUND
- 1/2" IRON ROD SET W/CAP
- STAMPED: "ALLIANCE LAND SURVEYORS RPLS 4716"
- CALCULATED POINT
- RECORD INFORMATION
- VOLUME/PAGE
- DPR
- DEED AND PLAT RECORDS OF BEXAR COUNTY, TEXAS
- E.O./H.E.
- ELECTRIC OVERHANG EASEMENT
- W.L.E.
- WATER LINE EASEMENT
- B.S.L.
- BUILDING SETBACK LINE
- C.B.S.L.
- COMMERCIAL BUILDING SETBACK LINE
- R.O.W.
- RIGHT-OF-WAY
- V.R.O.W.
- VARIABLE RIGHT-OF-WAY
- WATER METER
- POWER POLE
- LIGHT POLE
- GUY WIRE ANCHOR
- FIRE HYDRANT
- AT&T BOX

A-58.88'
R-130.00'
Δ-25°57'06"
B-N 11°39'25" E
C-58.38'

WINDCREST
SUBDIVISION UNIT 21
(9512 / 122 DPR)

LOT 4
BLOCK 87

N 00°50'38" W 123.77'
(N 00°32'17" W 123.77')
N 00°50'38" W 108.84'
(N 00°32'17" W 108.84')

10' W.L.E.
(PER PLAT)
25' B.S.L.
(PER PLAT)

60' C.B.S.L.
(PER PLAT)

10' W.L.E.
(PER PLAT)
25' B.S.L.
(PER PLAT)

60' C.B.S.L.
(PER PLAT)

25' B.S.L.
(PER PLAT)

60' C.B.S.L.
(PER PLAT)

25' B.S.L.
(PER PLAT)

60' C.B.S.L.
(PER PLAT)

25' B.S.L.
(PER PLAT)

60' C.B.S.L.
(PER PLAT)

25' B.S.L.
(PER PLAT)

60' C.B.S.L.
(PER PLAT)

25' B.S.L.
(PER PLAT)

60' C.B.S.L.
(PER PLAT)

25' B.S.L.
(PER PLAT)

60' C.B.S.L.
(PER PLAT)

25' B.S.L.
(PER PLAT)

60' C.B.S.L.
(PER PLAT)

25' B.S.L.
(PER PLAT)

60' C.B.S.L.
(PER PLAT)

25' B.S.L.
(PER PLAT)

60' C.B.S.L.
(PER PLAT)

25' B.S.L.
(PER PLAT)

60' C.B.S.L.
(PER PLAT)

74.47'
S 89°09'22" W
(S 89°27'43" W)
(75.00')

60' R.O.W.
(9512/122 DPR)

60' R.O.W.
(9512/122 DPR)

60' R.O.W.
(9512/122 DPR)

60' R.O.W.
(9512/122 DPR)

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(9512/122 DPR)

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(9512/122 DPR)

60' R.O.W.
(9512/122 DPR)

60' R.O.W.
(9512/122 DPR)

60' R.O.W.
(9512/122 DPR)

WINDCREST DRIVE
60' R.O.W.
(9512/122 DPR)

LOT 3
BLOCK 87
3.562 ACRES
NO IMPROVEMENTS
SHOWN FOR THIS
BOUNDARY SURVEY

APPROXIMATE LOCATION
OF 50' VALERO GAS
PIPELINE EASEMENT
(PER PLAT)

WINDCREST
SUBDIVISION UNIT 21
(9512 / 122 DPR)

LOT 2
BLOCK 87

4' E.O./H.E.
(PER PLAT)

60' C.B.S.L.
(PER PLAT)

14' E.O./H.E.
(PER PLAT)

60' C.B.S.L.
(PER PLAT)

14' E.O./H.E.
(PER PLAT)

60' C.B.S.L.
(PER PLAT)

14' E.O./H.E.
(PER PLAT)

60' C.B.S.L.
(PER PLAT)

14' E.O./H.E.
(PER PLAT)

16' ALLEY

16' ALLEY

16' ALLEY

16' ALLEY

16' ALLEY

16' ALLEY

16' ALLEY

16' ALLEY

16' ALLEY

LOT 1
BLOCK 8

LOT 2
BLOCK 8

LOT 3
BLOCK 8

WINDCREST, UNIT NO. 3
(4181 / 178A DPR)



SCALE
1" = 50'

I, Gary A. Gibbons, Registered Professional Land Surveyor number 4716, do hereby certify that this survey made on the ground by personnel working under my direct supervision and that this professional service conforms to the minimum standards of survey practices as set out by the Texas Board of Professional Engineers and Land Surveyors as of this date.

Survey field work completed on:

THE 8th DAY OF APRIL 2025, A.D.

Gary A. Gibbons

GARY A. GIBBONS
REGISTERED PROFESSIONAL LAND SURVEYOR
TEXAS REGISTRATION NO. 4716



JOB NO. 250419291

FIELD WORK:
BBII

BOUNDARY:
JTD

DRAWN:
JTD

REVIEW:
GG

REVISION DATE: --/--/----

NEW SHADE STRUCTURE

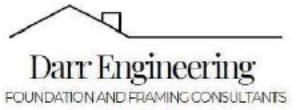
FOUNDATION AND FRAMING DESIGN

8700 FOUR WINDS
WINDCREST, TEXAS 78239

CLIENT:
PAT WHEELER
TEXAS CUSTOM EXTERIORS

DRAWING INDEX:

S0.0 - Title Sheet
S1.0 - General Notes
S2.0 - Foundation and Framing Plan
S3.0 - Details



TEXAS REGISTERED
ENGINEERING FIRM
F-24336

933 N FLORES STREET
SAN ANTONIO, TEXAS 78212

NEW SHADE STRUCTURE

8700 FOUR WINDS
WINDCREST, TEXAS 78239

FOUNDATION AND FRAMING DESIGN



Brandon T. Darr
6/30/2025

Project #: 25-600

Date: 6/30/2025

Title Sheet

Sheet No.

S0.0

STRUCTURAL NOTES

GENERAL REQUIREMENTS

The general contractor and all subcontractors performing the work outlined in these drawings shall familiarize themselves with the drawings, details, and notes outlined in this document. Questions and concerns shall be relayed to the Engineer.

Codes

2021 International Building Code

ASCE 7-16 Minimum Design Loads for Buildings and Other Structures

All referenced codes and standards shall include all amendments and addenda in force at the dates of the contract documents. Where conflict exists among the various referenced publications and the contract documents, contact the Engineer.

Structural Design Criteria

Design Loads

Dead loads: Self-weight of the structure

Live loads: Roof 5 psf

Wind Loads:

Design Wind Speed V/B - 105 mph

Risk Category - I

Exposure Class - B

Main Wind-Force Resisting (MWFRS):

Roof (Positive) - 17

Roof (Negative) - 17

Existing Conditions

Field verify all existing structural dimensions and conditions. Dimensions shown on the plans are approximate. Field measurements will be required to complete the work. Contractor shall obtain all field measurements as necessary to coordinate with and match new construction to existing conditions.

Some information on these drawings regarding existing features is necessarily conjectural due to unknown conditions at the time of preparation. If conditions exist that differ from the drawings or are not adequately detailed, inform the Engineer and additional details or interpretation will be provided. Do not proceed without verification from the Engineer.

Substitutions

All requests for substitutions of materials or details shown in the contract documents shall be submitted for approval prior to their use. The Contractor shall allocate a minimum of 5 business days for response/approval of any proposed substitutions or changes.

For any substitutions causing or requiring changes to the structure or the structural design, the Contractor shall bear the responsibility for all consequent additional design and coordination.

Coordination

Compare structural drawings with architectural, mechanical, and civil drawings and report any discrepancy to the Engineer prior to fabrication or installation of structural members.

The details or notes designated as "typical" or "typ" apply generally to the drawings in all areas where conditions are similar to those described as typical.

Temporary Bracing, Falsework, and Formwork

The design, construction, and safety of all temporary supports, such as guys, braces, falsework, formwork, shores, and bracing required for the execution of the contract, are not included in the drawings and shall be the responsibility of the Contractor.

Where a design has been provided by the Engineer, the Contractor retains responsibility for the construction and safety of these temporary supports. Contact the Engineer immediately if there is increased cracking, movement, or apparent instability.

Submittals

The following items shall be submitted to the Engineer for review. Refer to the Specifications for additional submittal items. Submit under provisions of the Contract Documents. Work associated with these items shall not commence until

Engineer Review of Construction

On-site review of construction by the Engineer is required at the following stages:

Foundation - Prior to placement of concrete.

Steel Framing - When complete

Close-out letters will not be issued without satisfactory review by the Engineer of the above stages/items.

Contact Engineer at least 72 hours prior to the expected time the review is needed.

Obtain Engineer's review of any unforeseen or differing structural conditions.

STRUCTURAL SPECIFICATION NOTES AND DATA

Site Drainage

Slope grade to drain away from building in all areas.

Roof drains and downspouts shall discharge away from foundation, and storm water shall be routed away from building.

Foundations & Excavation

Foundation design is based on the Bexar County Soil Survey provided by the NRCS Web Soil Survey.

Design soil bearing pressure is 1500 psf based on the "Presumptive Load-Bearing Values" given in the International Building Code Section 1806.

Excavations for footings shall be neat. Place concrete immediately after excavation and inspection. All water accumulation in footing shall be pumped out and allowed to dry for a minimum of 48 hours prior to placement of concrete.

Do not disturb material below the bottom of footing grade. Do not backfill to compensate for excavation that has extended below grade. If excavation occurs below the proposed footing grade, fill the area with concrete at the time the footing is placed.

If voids or pockets of loose, soft or compressible soil, deleterious materials, or organic matter are found in the bearing stratum, notify the Engineer immediately. Do not place the foundation until the Engineer has inspected the excavation and authorized changes have been made to provide a uniform bearing condition.

Cast-In-Place Concrete

Structural concrete shall comply with Specifications for Structural Concrete For Buildings (ACI 301) and Manual of Standard Practice, Concrete Reinforcing Steel Institute (CRSI).

Unless noted otherwise, cast-in-place concrete shall meet the

following 28 day strength requirements:

Footings: 3,000 psi

Structural Steel

Structural steel shall comply with Code Of Standard Practice, and Specification For The Design, Fabrication, And Erection Of Structural Steel For Buildings, American Institute Of Steel Construction.

Splicing of structural steel members is prohibited without the approval of the Structural Engineer as to location and type. Any member having a splice not shown and detailed on the shop drawings will be rejected.

Burning of holes in structural steel is prohibited. Any member with burned holes shall be replaced.

Structural shapes and plates shall conform to the following, unless noted otherwise on the drawings:

Wideflange beams & columns: ASTM A992

Tubular members (HSS): ASTM A500, grade B

Other shapes & plates: ASTM A36

Unless otherwise noted, connections are to be shop-welded and field-bolted.

All welding shall be done in accordance with A.W.S. Code by welders certified for the type of weld required.

Welding electrodes shall be 70 ksi low hydrogen electrodes, unless noted otherwise.

All miscellaneous welds (field or shop) shall be minimum size fillet all around in accordance with A.I.S.C. welding of continuous members. They shall be a minimum of 2-inches of 3/16-inch fillet stitch welds at 12-inches on center, staggered each side, unless otherwise noted.

All welds shall be de-slagged and cleaned prior to painting or galvanizing.

Anchors

Adhesive Anchors shall be equal to Hilti HIT HY-270 for Masonry and Hilti HY-200 for Solid Concrete. Screen tube required in hollow masonry. Field sample required to demonstrate performance.

Anchors shall be installed in accordance with the manufacturer's recommendations and the manufacturer's current ICBO report for the anchor. If a conflict exists between these referenced documents, the most stringent requirement shall govern.

Use the drill bit type and size recommended by the anchor manufacturer. Holes shall be drilled in a continuous operation, avoiding frequent removal of the drill from the hole. Holes shall not be enlarged or redirected anywhere along their length. After drilling, all dust and other foreign matter shall be blown out of the hole with compressed air.



Darr Engineering

FOUNDATION AND FRAMING CONSULTANTS

TEXAS REGISTERED
ENGINEERING FIRM
F-24336

933 N FLORES STREET
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NEW SHADE STRUCTURE

8700 FOUR WINDS
WINDCREST, TEXAS 78239

FOUNDATION AND FRAMING DESIGN



BRANDON T. DARR

142173

LICENSED PROFESSIONAL ENGINEER

Brandon T. Darr
6/30/2025

Project #: 25-600

Date: 6/30/2025

Notes

S1.0

Sheet No.

FOUNDATION NOTES

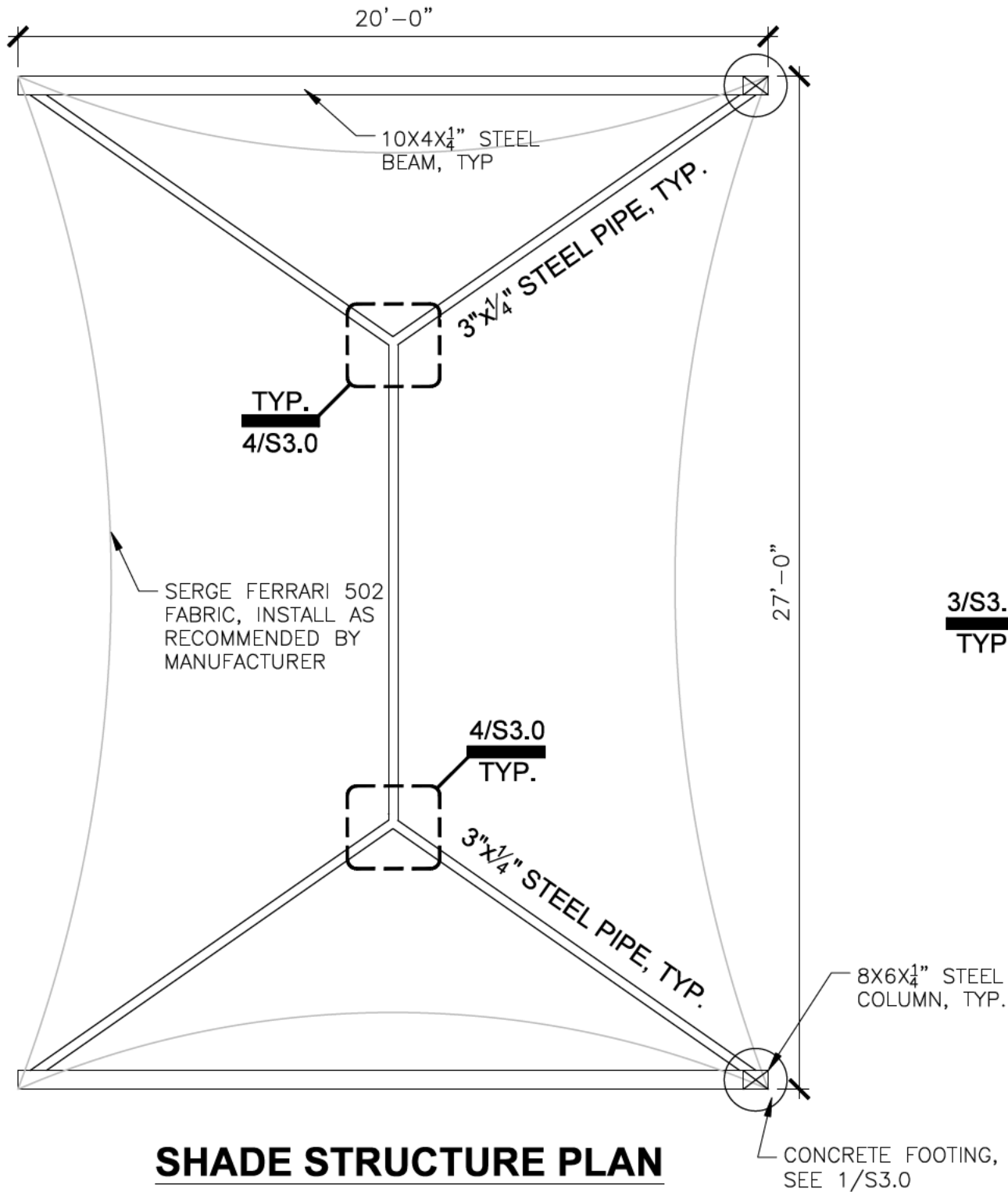
- 1. Refer to the General Notes on S1.0 for general information regarding the complete scope of work.
- 2. Verify all dimensions as identified on the plans with the Architectural drawings. Do not exceed the spans identified on the framing plan. All dimensions are approximate.
- 3. Excavate all footings to the minimum depth and width as identified on the details. Ensure footing holes are free of debris. Do not backfill holes which have been over excavated.
- 4. Verify all minimum clearances around steel reinforcement (rebar). Use rebar chairs or precast concrete blocks to provide minimum bottom clearance. Before placing rebar, ensure all rebar is clean of debris and free

of rust.

- 5. Any conduit or pipes penetrating a footing must be sleeved with PVC pipe with a minimum thickness of standard schedule 40. A minimum clear distance of 1.5" must be retained around the conduit or pipe and the interior of the PVC sleeve. Tape ends of sleeve to prevent debris from entering the sleeve before or during placement of concrete.
- 6. Do not place concrete until the excavations and steel reinforcement have been reviewed by a licensed structural engineer. All deficiencies found during the inspection must be remediated, reviewed, and approved by the structural engineer prior to placing concrete.
- 7. Upon completion of the new footings, rake the soils around the concrete footings to allow for drainage around the individual footings.

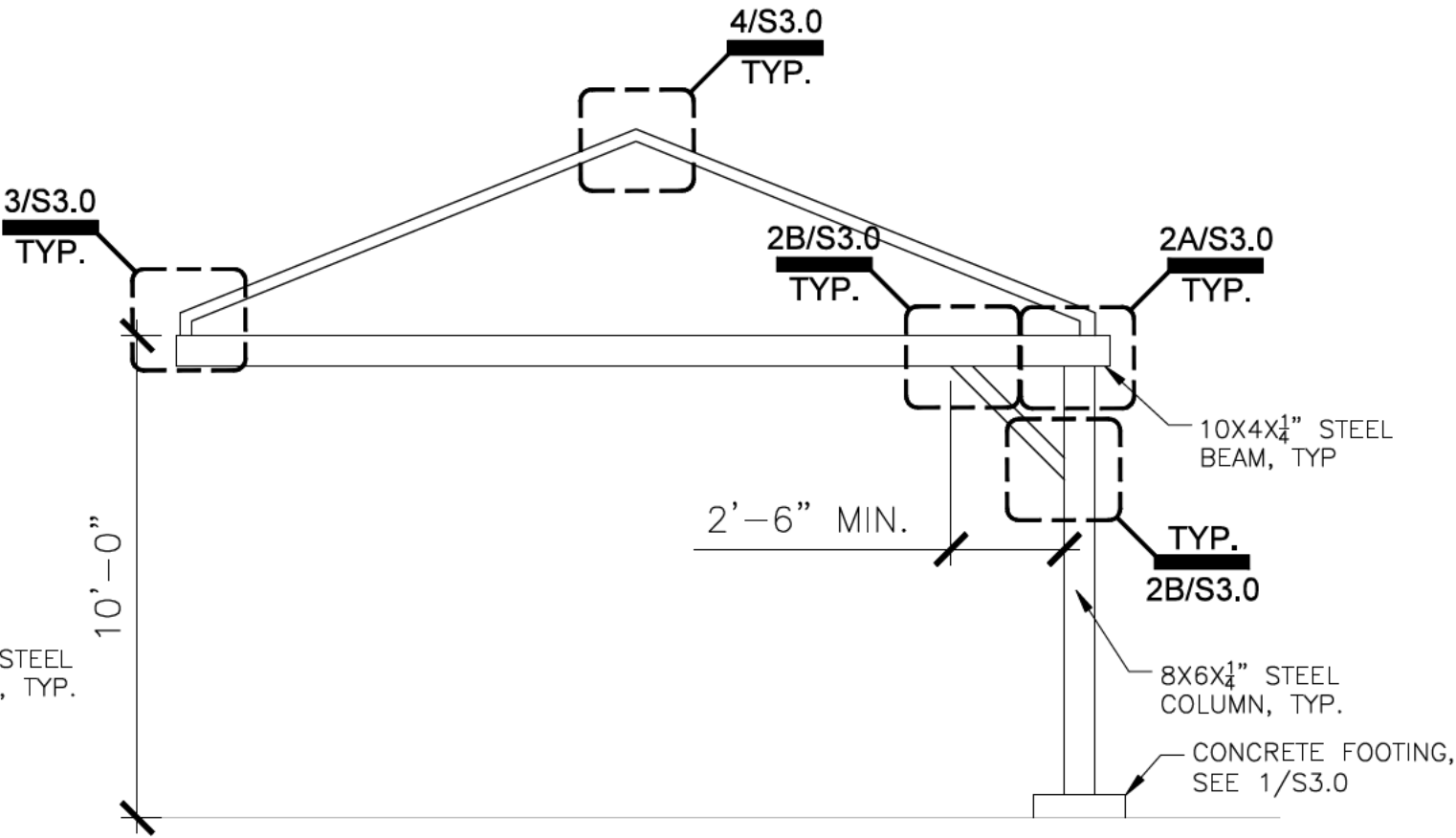
FRAMING NOTES

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- 3. Ensure all connections (ex. joist to beam, column to beam) are flush. Gaps between members at bearing surfaces is not acceptable.
- 4. Fully weld all connections as identified on the structural plans. Ensure welds are clean and free of slag. Prime and paint all welds.
- 5. Do not allow penetrations into existing joists, rafters, or beams unless it meets the guidance established by a licensed structural engineer. Sizes and locations of penetrations must be approved by the engineer.
- 6. Call for an inspection by a licensed structural engineer when the framing is complete. All deficiencies found during the inspection must be remediated, reviewed, and approved by the structural engineer.



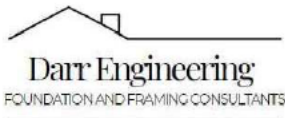
SHADE STRUCTURE PLAN

1/4" = 1'-0"



SHADE STRUCTURE ELEVATION

1/4" = 1'-0"



TEXAS REGISTERED
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F-24336

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NEW SHADE STRUCTURE
8700 FOUR WINDS
WINDCREST, TEXAS 78239
FOUNDATION AND FRAMING DESIGN



Brandon T. Darr
6/30/2025

Project #: 25-600

Date: 6/30/2025

Foundation
and Framing
Plan

Sheet No.

S2.0

FOUNDATION NOTES

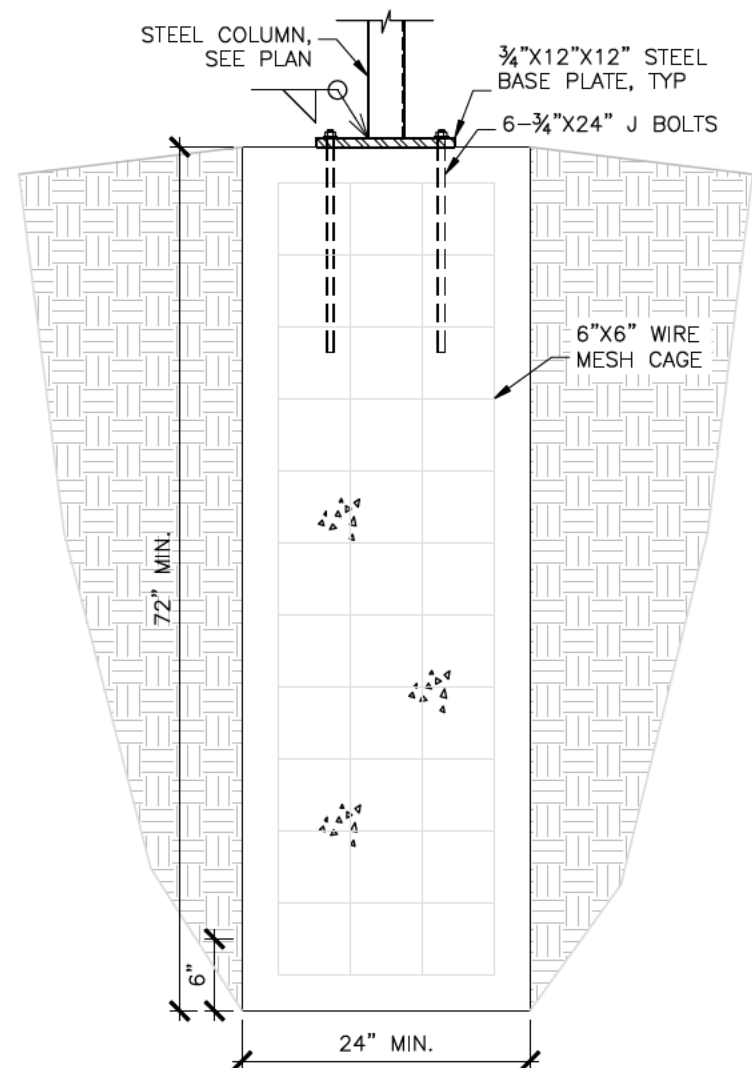
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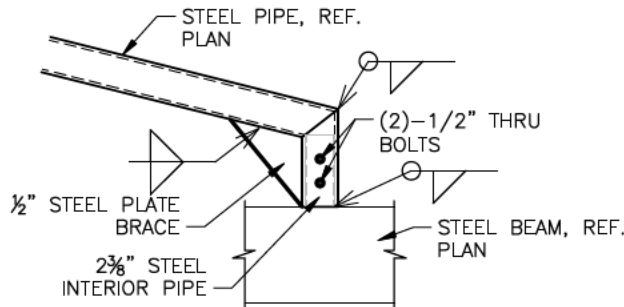
FRAMING NOTES

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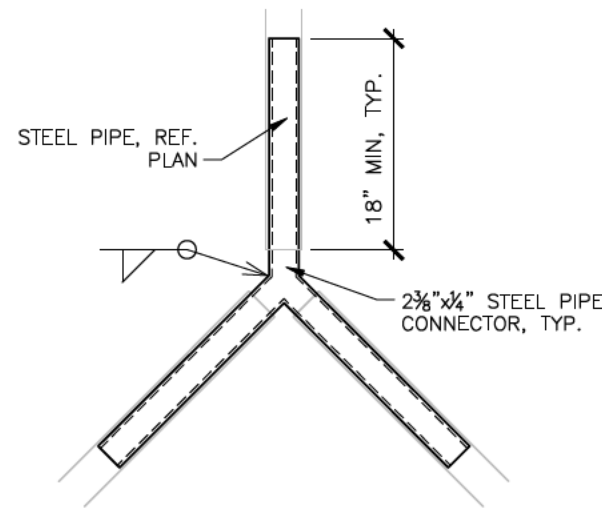
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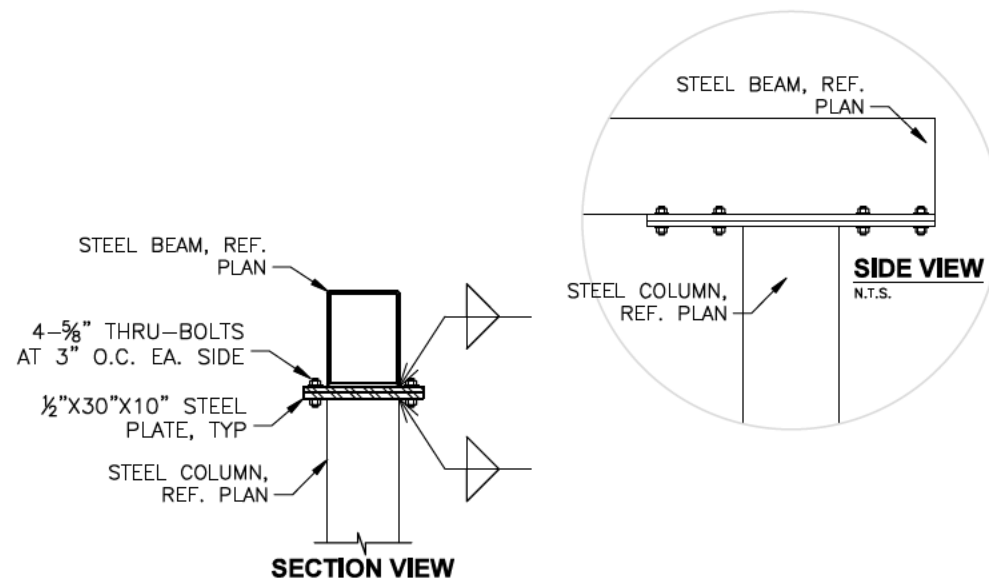
1 STEEL COLUMN FOOTING DETAIL
3/4" = 1'-0"



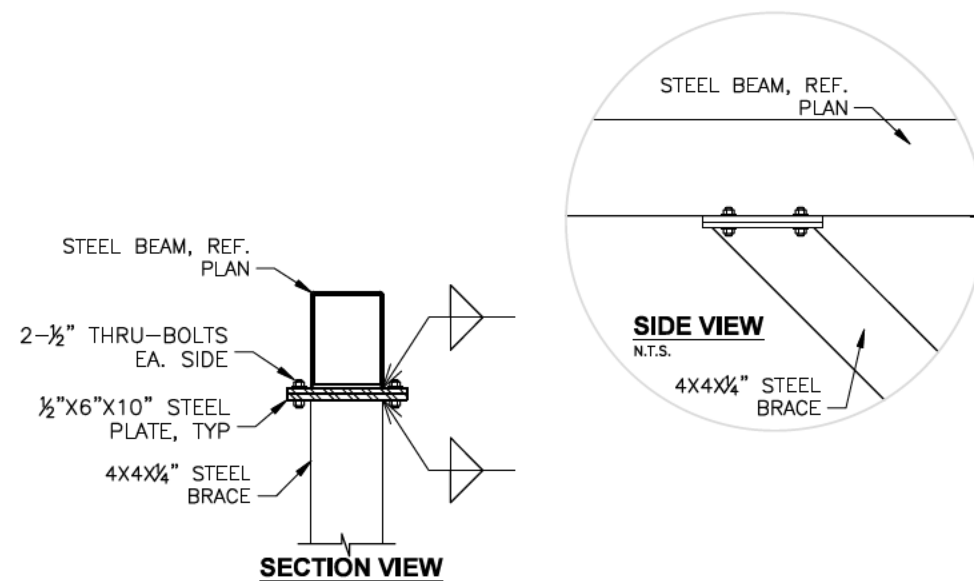
3 PIPE BASE CONNECTION DETAIL
3/4" = 1'-0"



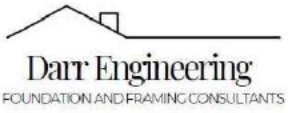
4 PIPE INTERSECTION CONNECTION DETAIL
3/4" = 1'-0"



2A COLUMN TO BEAM CONNECTION DETAIL
3/4" = 1'-0"



2B BRACE CONNECTION DETAIL
3/4" = 1'-0"



TEXAS REGISTERED
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NEW SHADE STRUCTURE
8700 FOUR WINDS
WINDCREST, TEXAS 78239
FOUNDATION AND FRAMING DESIGN



Brandon T. Darr
6/30/2025

Project #: 25-600
Date: 6/30/2025

Details

Sheet No.

S3.0









From: [REDACTED]
To: [REDACTED]
Subject: Re: Variance application: 4500 FourWinds - New creation Fellowship Christian church
Date: Thursday, August 14, 2025 9:52:59 AM

Please note that it's important to provide a canopy because we will be placing two light fixtures under the canopy to provide lighting for the EV drivers. We will also provide security cameras (2) on the canopy. Once facing the vehicles and the other facing charger. This will help provide monitoring security 24/7 as well as monitor our expensive charger. These are two very important features that we hope to incorporate if the canopy is approved.

Providing camera security and lighting would be difficult without a canopy. This is in addition to all the other benefits the canopy will provide as detailed in our letter that accompanied the application.

Thank you...

Salvador Flores, P.E., President
Bendicion Engineering, LLC
620 N. Flores St.
San Antonio, Texas 78205

[REDACTED]
Website: www.bendicionengineering.com

On Thursday, August 14, 2025 at 09:44:21 AM CDT, Salvador Flores, P.E. [REDACTED]
[REDACTED] > wrote:

No sign to be placed on the Canopy.

Salvador Flores, P.E., President
Bendicion Engineering, LLC
620 N. Flores St.
San Antonio, Texas 78205

[REDACTED]
Website: www.bendicionengineering.com