

City of Windcrest



AGENDA BOARD OF ADJUSTMENT MEETING 6:00 PM FEBRUARY 18, 2026

**HONORABLE STEPHEN P. TAKAS, JR. COURTROOM
CITY HALL - 8601 MIDCROWN**

6:00 PM

NOTICE IS HEREBY GIVEN THAT A CITY OF WINDCREST BOARD OF ADJUSTMENT MEETING WILL BE HELD AT WINDCREST CITY HALL, 8601 MIDCROWN, WINDCREST, TEXAS ON THE WEDNESDAY, FEBRUARY 18, 2026, STARTING AT 6:00 P.M.

THE BOARD OF ADJUSTMENT RESERVES THE OPTION TO RECESS THE MEETING DURING THE EVENING OF WEDNESDAY, FEBRUARY 18, 2026, AND TO RECONVENE THE MEETING ON THE FOLLOWING BUSINESS DAY, THURSDAY, FEBRUARY 19, 2026, AT 6:00 P.M. AT THE WINDCREST CITY HALL, 8601 MIDCROWN, WINDCREST, TEXAS.

NOTICE OF ASSISTANCE AT THE PUBLIC MEETING

The City of Windcrest Council Chambers is wheelchair accessible, and accessible parking spaces are available. In compliance with Americans with Disabilities Act, the City of Windcrest will provide reasonable accommodations for persons attending the meeting. To better serve you, requests should be received 48 hours prior to the meeting. Please contact the City Secretary's Office, at 210-655-0022 ext. 2150 or Fax 210-655-8776, or 711 Texas Relay.

I. CALL TO ORDER

II. ROLL CALL

III. VOTE TO EXCUSE ABSENT MEMBERS

IV. PLEDGE OF ALLEGIANCE

V. CITIZENS TO BE HEARD/CITIZEN PARTICIPATION

- Citizens may address the Board of Adjustment on topics not on the agenda for no more than three (3) minutes.
- Citizens shall also have the opportunity to address the Board of Adjustment during consideration of posted agenda items for no more than six (6) minutes.
- A City Official may make a statement of specific factual information in response to an inquiry made by a member of the public, or a recitation of existing policy in response to an inquiry made by a member of the public.

DURING THE MEETING THE FOLLOWING SUBJECTS WILL BE CONSIDERED AND THE CITY OF WINDCREST BOARD OF ADJUSTMENT MAY TAKE ACTION ON ANY OF THE LISTED SUBJECTS.

VI. PRESENTATION BY APPLICANT

- a) Applicant of 409 Driftwind, Windcrest, Texas 78239, assigned to Bexar County Appraisal District Property ID No. 342486, may present their request for a variance to Sec.113-115(b) of the Windcrest Code of Ordinances to the Board of Adjustment.

VII. PUBLIC HEARING

OPENING OF PUBLIC HEARING

- a) Public hearing to receive comments from the public regarding a request for a variance to Sec.113-115(b) to allow the construction of a driveway with concrete pavers, at 409 Driftwind, Windcrest, Texas 78239, assigned Bexar County Appraisal District Property ID #342486.

CLOSING OF PUBLIC HEARING

VIII. DISCUSSION AND ACTION

- a) The Board of Adjustment will review, discuss, and may take action on a variance request to Sec. 113-115(b), to allow the construction of a driveway with concrete pavers, at 409 Driftwind, Windcrest, Texas 78239, assigned Bexar County Appraisal District Property ID #342486.

IX. GENERAL ANNOUNCEMENTS & FUTURE AGENDA ITEMS REQUESTED

Per Ordinance No. 618, repealing Ordinance No. 593; Section 9: Every agenda shall include an item entry granting a member the opportunity to propose an item for consideration of future agendas for Regular or Special Meetings. Any member may request the inclusion of such items at any meeting.

X. ADJOURNMENT

Decorum Required: Any disruptive behavior, including shouting or derogatory statements or comments may be ruled out of order by the Presiding Officer. Continuation of this type of behavior could result in a request by the Presiding Officer that the individual leave the meeting, and if refused, an order of removal.

Action by Commission Authorized: The Board of Adjustment may vote and/or act upon any item within this Agenda. The Commission reserves the right to retire into executive session concerning any of the items listed on this Agenda, pursuant to and in accordance with Texas Government Code § 551.072 (Deliberations about Real Property); § 551.073 (Deliberations about Gifts & Donations); § 551.076 (Deliberations about Security Devices); §551.087 (Economic Development); §551.074 (Personnel Matters); and § 551.071 (Consultation with Attorney) to seek the advice of its attorney about pending or contemplated litigation, settlement offer or on a matter in which the duty of the attorney to the governmental body under the Texas Disciplinary Rules of Professional Conduct of the State Bar of Texas conflict with the Open Meetings Act and may invoke this right where the City Attorney, the Mayor or a majority of the Body deems an executive session is necessary to allow privileged consultation between the City Attorney and the governing body, if considered necessary and legally justified under the Open Meetings Act. The attorney may appear in person or appear in executive session by conference call in accordance with applicable state law.

Executive Sessions Approved by City Attorney: This agenda has been reviewed and approved by the City's legal counsel and the presence of any subject in any Executive Session portion of the agenda

constitutes a written interpretation of Texas Government Code Chapter 551 by legal counsel for the body and constitutes an opinion by the attorney that the items discussed therein may be legally discussed in the closed portion of the meeting considering available opinions of a court of record and opinions of the Texas Attorney General known to the attorney. This provision has been added to this agenda with the intent to meet all elements necessary to satisfy Texas Government Code Chapter 551.144(c) and the meeting is conducted by all participants in reliance on this opinion.

Attendance By Other Elected or Appointed Officials: It is anticipated that members of other city boards, commissions and committees may attend the meeting in numbers that may constitute a quorum of such other city boards, commissions and committees, so that notice is hereby given that the meeting is also a meeting of the other city boards, commissions and committees whose members are in attendance. The members of the other city boards, commissions and committees may participate in discussions which occur at the meeting, but no action will be taken by the other boards, commissions, and committees whose members are in attendance.

I, the undersigned authority, do hereby certify that the above Notice of Meeting of the Board of Adjustment of the City of Windcrest is a true and correct copy of said Notice and was posted on the bulletin board at City Hall of said City in a convenient place to the public and said Notice was posted more than three (3) business days prior to the meeting on February 18, 2026.

BY:

A handwritten signature in black ink that reads "Rachel C. Dominguez". The signature is fluid and cursive, with the first letters of each word being capitalized and prominent.

Rachel C. Dominguez, TRMC
City Secretary

VARIANCE CHECKLIST

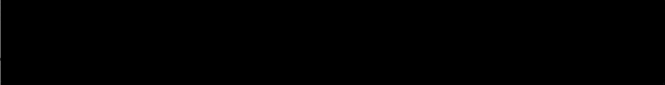
DATE 12/29/25

PERMIT NUMBER 25-4857
Application Date:

PERMIT DATE 11/21/25 DENIAL DATE 11/24/25 2ND DENIAL DATE N/A

CONTRACTOR SYSTEM PAVERS/ LUKE YODER/ LUKE.YODER@
PHONE 737-335-5257 SYSTEMPAVERS.COM

BILLING ADDRESS 109 STONE LAKE BLD 2 STE 100 AUSTIN TX

APPLICANT HOLLY BROBST/ 

PHONE _____

ADDRESS 409 DRIFTWIND WINDCREST TR 78239

ITEM FOR DISCUSSION 18 FT X 46 FT PAVER DRIVEWAY

☒ ORIGINAL VARIANCE APPLICATION FORM/payment of \$35.00 (due at point of complete packet filing)

☒ SITE PLAN/PLANS/ project plans showing the dimensions of the structure and setbacks.

(Please have plans include any plumbing/electrical/HVAC proposed SITE PLANNED SEPARATELY)

(plumbing/electrical/HVAC PERMITS PULLED SEPARATELY)

☒ FIRST DENIAL LETTER FROM CITY INSPECTOR

☐ 2ND DENIAL LETTER FROM CITY INSPECTOR

☒ LETTER FROM APPLICANT/ stating the hardship of which the appeal hearing is being requested.

PERMIT CLERK  SHANNON STREY

DATE 12/29/25



WINDCREST

TEXAS

DEC 29 '25 10:41

Universal Development Application

(Please use separate application for each submittal)

☐ Land Use Amendment	☐ Land Study	☐ Replat
☐ Thoroughfare Amendment	☐ Final Plat	☐ Amending Plat
☐ Zoning Change (choose one)	☐ Preliminary Plat	☐ Minor Plat
☐ Straight Zoning	☐ Specific Use Permit	☐ Vacating Plat
☐ PUD (Planned Unit Development)	☐ Conditional Use Permit	☐ Site Plan
☒ Variance	☐ Exception	☐ Tree Removal Permit

Project Name: Holly Brobst - 2025-0202699

Total Acres: 0.34 Survey Name: 1 Ameri Surveyors lot 16, Blk 12 Unit 7 Abstract No.: _____

Project Location (address): 409 Driftwind Dr. San Antonio TX 78239

Current Zoning: R1 Current Use: R1 # of Lots/Units: 1 For Commercial/Industrial:
Proposed Zoning: _____ Proposed Use: _____ Please Circle One: SF MF COMM IND OTHER
Total Proposed Sq. Ft. _____

Applicant Information:

Property Owner Name: Holly Brobst

Address: 409 Driftwind Dr. City: San Antonio St/Zip: TX 78239

Phone: [REDACTED] Fax: _____ E-Mail: [REDACTED]

Applicant (if different than Owner): _____

Address: _____ City: _____ St/Zip: _____

Phone: _____ Fax: _____ E-Mail: _____

Representative: Luke Yoder

Address: 10900 Stonelake Blvd. Bld 2 Suite 100 City: Austin St/Zip: TX 78759

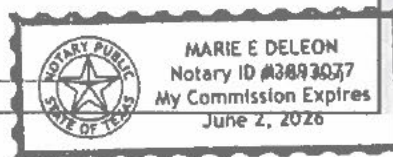
Phone: 737-335-5257 Fax: _____ E-Mail: Luke.Yoder@systempavers.com

Authorization: By signing this application, you hereby grant Staff access to your property to perform work related to your application. Also, you waive the statutory time limits in accordance with Section 211, 212 and 245 of the Texas Local Government Code.

[Signature]
Owner's Signature
Holly Brobst
Typed/Printed Name

Known to me to be the person whose name is subscribed to the above and foregoing instrument, and acknowledged to me that they executed the same for the purposes and consideration expressed and in the capacity herein stated. Given under my hand and seal on this 19th day of December, 2025.

[Signature]
Notary Public



City of Windcrest Use Only

Project No.: _____

Total Fees: _____

Payment Method: _____

Submittal Date: _____

Accepted by: _____

To Whom It May Concern,

I am writing to explain the hardship associated with my clients existing concrete driveway and to formally request approval to replace it with decorative concrete pavers.

The current concrete driveway has developed significant cracking throughout its surface. This issue is not isolated to their property, as many neighboring driveways constructed with similar concrete have also cracked over time. These cracks create ongoing maintenance concerns, detract from the overall appearance of the property, and reduce the longevity of the driveway. Due to the nature of poured concrete, repairs are often temporary and visually inconsistent, leading to repeated deterioration.

I am proposing to replace the failing concrete with decorative concrete pavers. This alternative offers several important benefits. Decorative pavers are widely recognized as a stronger and more flexible system than traditional concrete, allowing them to better accommodate ground movement and weather changes without cracking. If an issue does arise, individual pavers can be repaired or replaced easily without disturbing the entire driveway surface.

In addition to the structural advantages, decorative concrete pavers are significantly more visually appealing. I have observed several driveways within the city of Windcrest that utilize decorative pavers, and they greatly enhance the appearance of the property and surrounding area. Compared to the cracked and aging concrete driveways commonly seen in the neighborhood, pavers provide a clean, attractive, and well-maintained look that can improve overall curb appeal and property value.

For these reasons, replacing the existing cracked concrete driveway with decorative concrete pavers would address ongoing maintenance hardships, provide a more durable long-term solution, and result in a more aesthetically pleasing outcome.

Thank you for your time and consideration. I appreciate your review of this request and am happy to provide any additional information if needed.

Sincerely,
Luke Yoder

Construction Manager

System Pavers of TX



Date: Monday, November 24, 2025

Luke Yoder
System Pavers
10900 Stonelake Blvd Bld 2 Suite 100
Austin TX 78759
luke.yoder@systempavers.com

Permit Number 25-4857
Job Address: 409 Driftwind Dr, San Antonio 78239

Dear Luke Yoder,

Staff has completed its review of plans for the Rip out old driveway and replace with decorative concrete pavers. that is to be located at 409 Driftwind Dr, San Antonio 78239. Comments from this review follow.

Residential Plan Review

The following comments have been provided by Mike Constantino. Should you have any questions or require additional information regarding any of these comments, please contact Mike Constantino by telephone at (830) 885-0007 or by email at constantino@bb-inspections.com.

Additional information required:

1). Concrete pavers not allowed to be used to replace concrete driveway.

Must be a steel reinforced concrete driveway as per city code section 2023-007-Sec.32-175.

MC

Please revise the project plans to address the comments noted above. Following revision, please upload one full set of the revised drawings in PDF format. To access your project online, please go to www.mygovernmentonline.org and use the online portal to upload your drawings in PDF format.

Should you have questions regarding specific comments, please contact the staff member referenced under the section in which the comment occurs. Should you have questions or require additional information regarding the plan review process itself, please feel free to contact me directly. I can be reached by telephone at (210) 655-0022, or by e-mail at [sstrey@windcrest-tx.gov](mailto:ssstrey@windcrest-tx.gov).

Thank you,

11/24/2025 4:03:15 PM

Rip out old driveway and replace with decorative
concrete pavers.

25-4857

Page 2

Shannon Strey

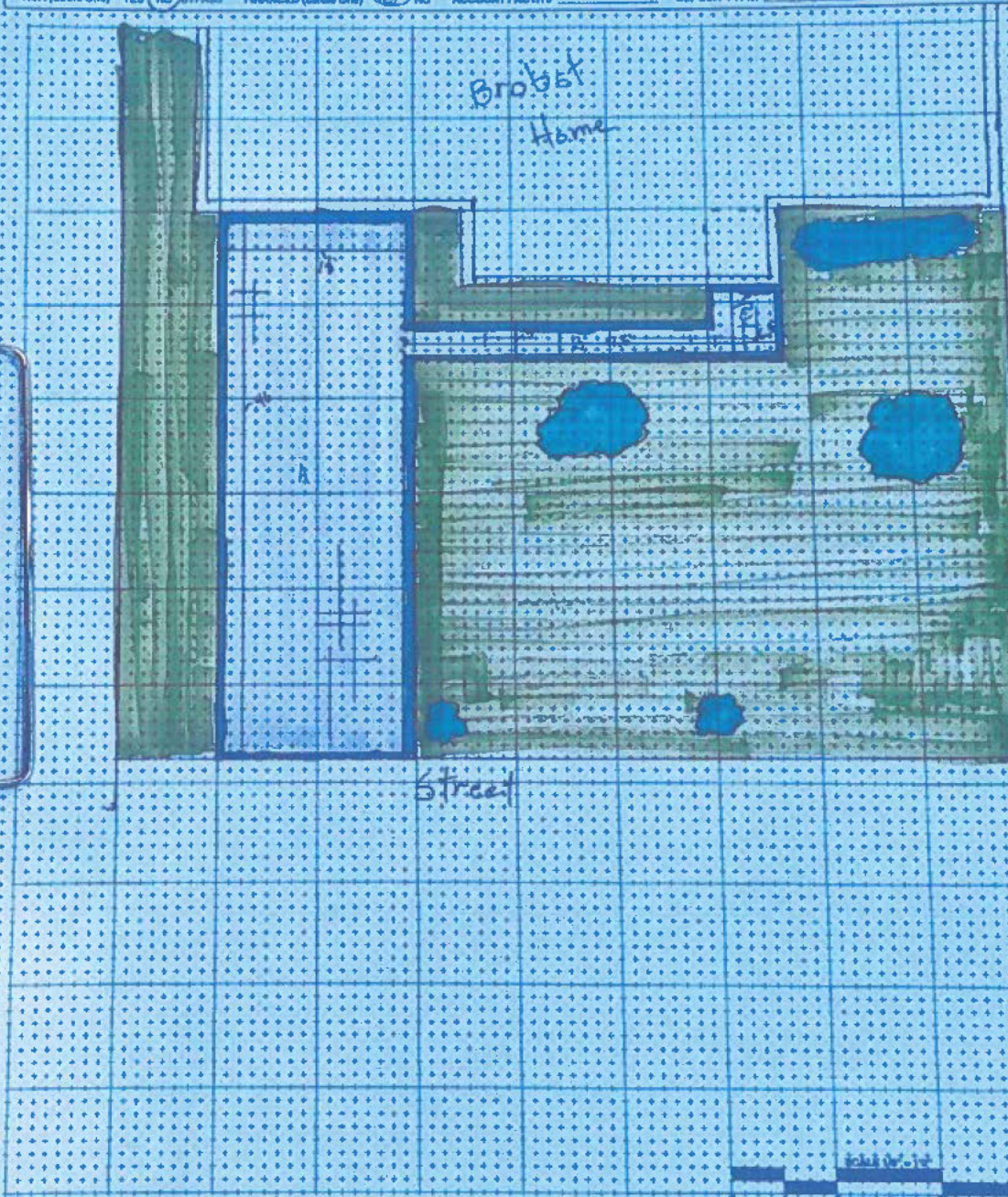
City of Windcrest
8601 Midcrown Street
Windcrest, TX 78239
(210) 655-0022

~~1/18/89~~



Purchaser(s) Name: Holly Brobst		Date of Drawing: 10/31/25	Job Number: _____
Purchaser(s) Street Address, City, State, and Zip Code: 404 Driftwood Dr San Antonio TX 78239		Wall Type: _____	Step L.S.: _____
Purchaser(s) Phone: 310-387-0626		Wall JC: _____	Step Color: _____
Purchaser(s) Email Address: hbrobst@gmail.com		Wall Color: _____	Border L.S. #: 191
Purchaser(s) Step Telephone: _____		Step Type: _____	

Can-Grub Lob	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
--------------	---	---	---	---	---	---	---	---	---	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	-----



DESIGNER INITIAL: J.H.	BEFORE PICTURES: J.H.	DIAGRAM SIGNED: J.H.	DEPOSIT COLLECTED: J.H.	FINANCING ACTIVATED (if applicable): J.H.
-------------------------------	------------------------------	-----------------------------	--------------------------------	--

DRAWING
SYSTEM PAVERS | Outdoor Living
 Designed Around You
 System Pavers of Texas, LLC
 404 Driftwood Dr
 San Antonio, TX 78239
 Phone: 214-801-7293
 Fax: 214-801-0452
 www.systempavers.com

It is agreed and understood by and between the parties that this DRAWING, along with the HOME IMPROVEMENT AGREEMENT and STATEMENT OF WORK, constitutes the entire understanding between the parties, and there are no verbal understandings changing or modifying any of the terms. This DRAWING may not be changed or its terms modified or varied in any way unless such changes are in writing and signed by both the Purchaser(s) and Contractor. Purchaser(s) hereby acknowledge that Purchaser(s) has read this DRAWING.

SYSTEM PAVING, INC.
 By: **Jennian Higa**
 Title: **Design Consultant**
 Date: **10/31/25**

PURCHASER(S)
 By: **Holly Brobst**
 Title: **Purchaser**
 Date: _____

Signature: _____ Date: _____

Windcrest - Building Services

8601 Midcrown
Windcrest, TX 78239
210-655-0022

Monday, December 29, 2025

Invoice for Permit Number 25-4857

System Pavers - Luke Yoder
409 Driftwind Dr
San Antonio TX 78239

Two Convenient Payment Options Available

Pay Online with your Discover, Visa, Mastercard or with your Escrow Account through the MyGovernmentOnline.org portal:

Go to www.mygovernmentonline.org and login with your user account. Click on the "Account" button at the top right section of the page. Scroll down to the "My Permits" section. Locate the permit number you wish to pay and click on "View Permit". Click on the "Payments" tab. Click on the "Pay Online" button near the bottom of the page to pay the balance with your Discover, Visa, MasterCard or Escrow Account. Once you have completed processing your payment, please allow the permit review staff sufficient time to review your project and follow-up with you.

Plan review process will not begin until fees are paid

Pay In-Person (Cash, Check, Discover, Visa or Mastercard):

WINDCREST
WINDCREST, TX 78239

Fee Type	Amount Due	Amount Paid
Driveways	\$120.00	\$120.00
Credit Card Processing Fee	\$3.60	\$3.60
Plan & Revised Plan Review Fee (Building Inspector)	\$60.00	\$60.00
Credit Card Processing Fee	\$1.80	\$1.80
Variance Request	\$0.00	\$0.00
Other/Misc.	\$35.00	\$35.00
	\$220.40	\$220.40
	Balance to Pay: \$0.00	

CITY OF WINDCREST
<http://windcrest-tx.gov>

REC#: 00395535 12/29/2025 10:45 AM
OPER: 00 TERM: 011
REF#:

TRAN: 402.0000 BLDG PERMITS
25-4857 409 DRIEFTWIND VARIANCE
BUILDING PERMIT FEE 35.0000

TENDERED: 35.00 CASH
APPLIED: 35.00-

CHANGE: 0.00

VARIANCE CHECKLIST

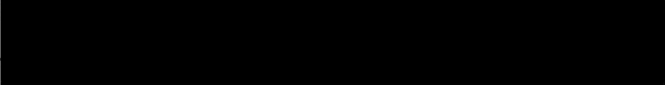
DATE 12/29/25

PERMIT NUMBER 25-4857
Application Date:

PERMIT DATE 11/21/25 DENIAL DATE 11/24/25 2ND DENIAL DATE N/A

CONTRACTOR SYSTEM PAVERS/LUKE YODER/LUKE.YODER@SYSTEMPAVERS.COM
PHONE 737-335-5257

BILLING ADDRESS 109 STONE LAKE BLD 2 STE 100 AUSTIN TX

APPLICANT HOLLY BROBST/ 

PHONE _____

ADDRESS 409 DRIFTWIND WINDCREST TR 78239

ITEM FOR DISCUSSION 18 FT X 46 FT PAVER DRIVEWAY

☒ ORIGINAL VARIANCE APPLICATION FORM/payment of \$35.00 (due at point of complete packet filing)

☒ SITE PLAN/PLANS/ project plans showing the dimensions of the structure and setbacks.

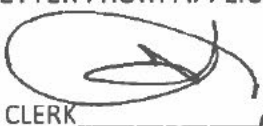
(Please have plans include any plumbing/electrical/HVAC proposed SITE PLANNED SEPARATELY)

(plumbing/electrical/HVAC PERMITS PULLED SEPARATELY)

☒ FIRST DENIAL LETTER FROM CITY INSPECTOR

☐ 2ND DENIAL LETTER FROM CITY INSPECTOR

☒ LETTER FROM APPLICANT/ stating the hardship of which the appeal hearing is being requested.

PERMIT CLERK  / SHANNON STREY

DATE 12/29/25



WINDCREST

TEXAS

DEC 29 '25 10:41

Universal Development Application

(Please use separate application for each submittal)

☐ Land Use Amendment	☐ Land Study	☐ Replat
☐ Thoroughfare Amendment	☐ Final Plat	☐ Amending Plat
☐ Zoning Change (choose one)	☐ Preliminary Plat	☐ Minor Plat
☐ Straight Zoning	☐ Specific Use Permit	☐ Vacating Plat
☐ PUD (Planned Unit Development)	☐ Conditional Use Permit	☐ Site Plan
☒ Variance	☐ Exception	☐ Tree Removal Permit

Project Name: Holly Brobst - 2025-0202699

Total Acres: 0.34 Survey Name: 1 Ameri Surveyors lot 16, Blk 12 Unit 7 Abstract No.: _____

Project Location (address): 409 Driftwind Dr. San Antonio TX 78239

Current Zoning: R1 Current Use: R1 # of Lots/Units: 1 For Commercial/Industrial:
Proposed Zoning: _____ Proposed Use: _____ Please Circle One: SF MF COMM IND OTHER
Total Proposed Sq. Ft. _____

Applicant Information:

Property Owner Name: Holly Brobst

Address: 409 Driftwind Dr. City: San Antonio St/Zip: TX 78239

Phone: [REDACTED] Fax: _____ E-Mail: [REDACTED]

Applicant (if different than Owner): _____

Address: _____ City: _____ St/Zip: _____

Phone: _____ Fax: _____ E-Mail: _____

Representative: Luke Yoder

Address: 10900 Stonelake Blvd. Bld 2 Suite 100 City: Austin St/Zip: TX 78759

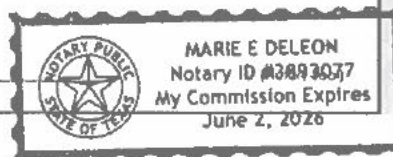
Phone: 737-335-5257 Fax: _____ E-Mail: Luke.Yoder@systempavers.com

Authorization: By signing this application, you hereby grant Staff access to your property to perform work related to your application. Also, you waive the statutory time limits in accordance with Section 211, 212 and 245 of the Texas Local Government Code.

[Signature]
Owner's Signature
Holly Brobst
Typed/Printed Name

Known to me to be the person whose name is subscribed to the above and foregoing instrument, and acknowledged to me that they executed the same for the purposes and consideration expressed and in the capacity herein stated. Given under my hand and seal on this 19th day of December, 2025.

[Signature]
Notary Public



City of Windcrest Use Only

Project No.: _____

Total Fees: _____

Payment Method: _____

Submittal Date: _____

Accepted by: _____

To Whom It May Concern,

I am writing to explain the hardship associated with my clients existing concrete driveway and to formally request approval to replace it with decorative concrete pavers.

The current concrete driveway has developed significant cracking throughout its surface. This issue is not isolated to their property, as many neighboring driveways constructed with similar concrete have also cracked over time. These cracks create ongoing maintenance concerns, detract from the overall appearance of the property, and reduce the longevity of the driveway. Due to the nature of poured concrete, repairs are often temporary and visually inconsistent, leading to repeated deterioration.

I am proposing to replace the failing concrete with decorative concrete pavers. This alternative offers several important benefits. Decorative pavers are widely recognized as a stronger and more flexible system than traditional concrete, allowing them to better accommodate ground movement and weather changes without cracking. If an issue does arise, individual pavers can be repaired or replaced easily without disturbing the entire driveway surface.

In addition to the structural advantages, decorative concrete pavers are significantly more visually appealing. I have observed several driveways within the city of Windcrest that utilize decorative pavers, and they greatly enhance the appearance of the property and surrounding area. Compared to the cracked and aging concrete driveways commonly seen in the neighborhood, pavers provide a clean, attractive, and well-maintained look that can improve overall curb appeal and property value.

For these reasons, replacing the existing cracked concrete driveway with decorative concrete pavers would address ongoing maintenance hardships, provide a more durable long-term solution, and result in a more aesthetically pleasing outcome.

Thank you for your time and consideration. I appreciate your review of this request and am happy to provide any additional information if needed.

Sincerely,
Luke Yoder

Construction Manager

System Pavers of TX



Date: Monday, November 24, 2025

Luke Yoder
System Pavers
10900 Stonelake Blvd Bld 2 Suite 100
Austin TX 78759
luke.yoder@systempavers.com

Permit Number 25-4857
Job Address: 409 Driftwind Dr, San Antonio 78239

Dear Luke Yoder,

Staff has completed its review of plans for the Rip out old driveway and replace with decorative concrete pavers. that is to be located at 409 Driftwind Dr, San Antonio 78239. Comments from this review follow.

Residential Plan Review

The following comments have been provided by Mike Constantino. Should you have any questions or require additional information regarding any of these comments, please contact Mike Constantino by telephone at (830) 885-0007 or by email at constantino@bb-inspections.com.

Additional information required:

1). Concrete pavers not allowed to be used to replace concrete driveway.

Must be a steel reinforced concrete driveway as per city code section 2023-007-Sec.32-175.

MC

Please revise the project plans to address the comments noted above. Following revision, please upload one full set of the revised drawings in PDF format. To access your project online, please go to www.mygovernmentonline.org and use the online portal to upload your drawings in PDF format.

Should you have questions regarding specific comments, please contact the staff member referenced under the section in which the comment occurs. Should you have questions or require additional information regarding the plan review process itself, please feel free to contact me directly. I can be reached by telephone at (210) 655-0022, or by e-mail at [sstrey@windcrest-tx.gov](mailto:ssstrey@windcrest-tx.gov).

Thank you,

11/24/2025 4:03:15 PM

Rip out old driveway and replace with decorative
concrete pavers.

25-4857

Page 2

Shannon Strey

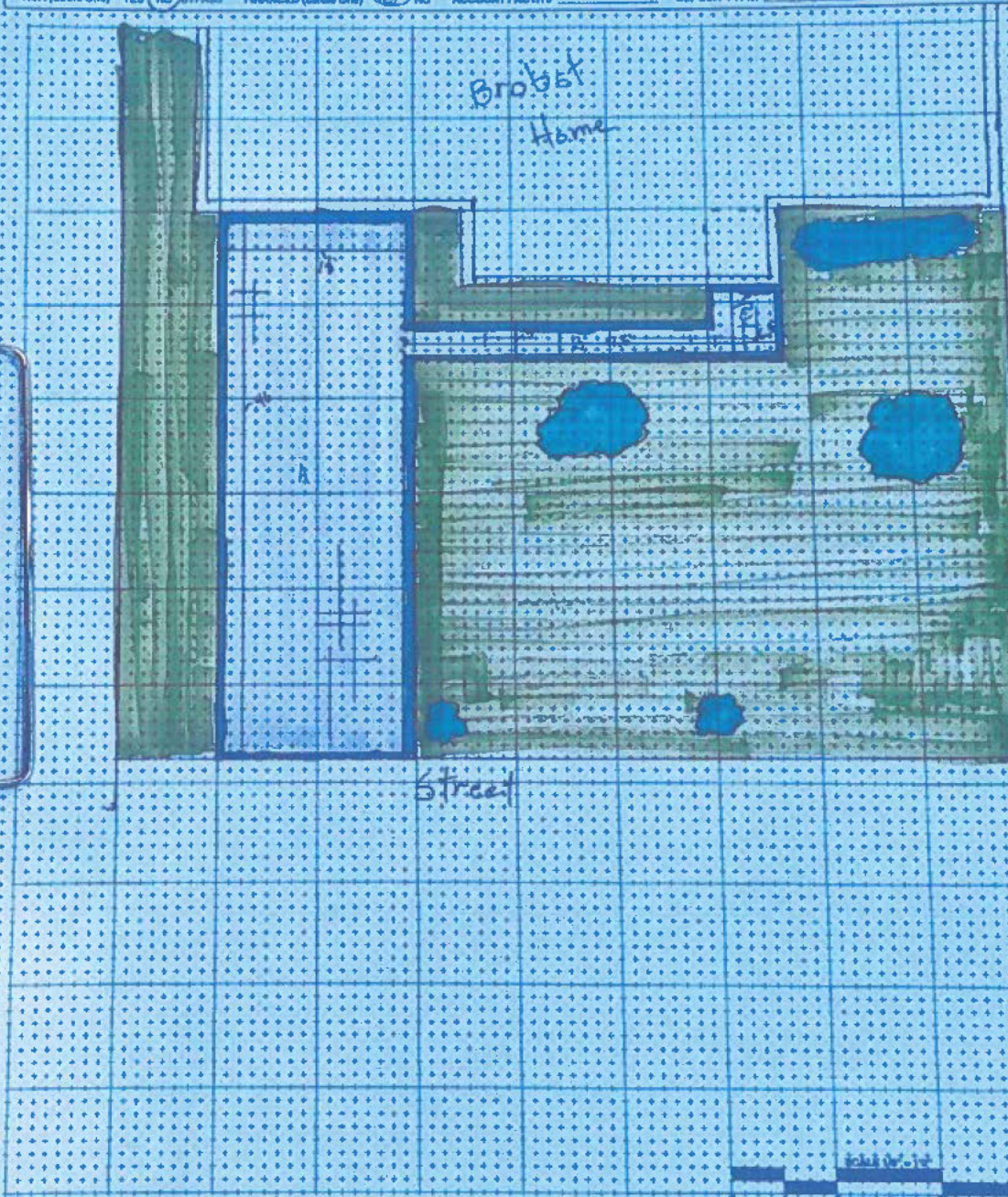
City of Windcrest
8601 Midcrown Street
Windcrest, TX 78239
(210) 655-0022

~~1/18/81~~



Purchaser(s) Name: Holly Brobst		Date of Drawing: 10/31/25	Job Number: _____
Purchaser(s) Street Address, City, State, and Zip Code: 404 Driftwood Dr San Antonio TX 78239		Wall Type: _____	Step L.H. _____
Purchaser(s) Phone: 310-387-0626		Wall Jt. _____	Step Color: _____
Purchaser(s) Email Address: hbrobst@gmail.com		Wall Color: _____	Border L.H. 191
Purchaser(s) Cell Telephone: _____		Step Type: _____	

Can-Grub Lob	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
--------------	---	---	---	---	---	---	---	---	---	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	-----



DESIGNER INITIAL: **J.H.** BEFORE PICTURES: **J.H.** DIAGRAM SIGNED: **J.H.** DEPOSIT COLLECTED: **J.H.** FINANCING ACTIVATED (if applicable): **J.H.**

DRAWING
SYSTEM PAVERS | Outdoor Living
 Designed Around You
 System Pavers of Texas, LLC
 c/o System Pavers
 www.SystemPavers.com Phone: 800-801-7293
 Class C-610-000-27 Fax: 848-283-0452

It is agreed and understood by and between the parties that this DRAWING, along with the HOME IMPROVEMENT AGREEMENT and STATEMENT OF WORK, constitutes the entire understanding between the parties, and there are no verbal understandings changing or modifying any of the terms. This DRAWING may not be changed or its terms modified or varied in any way unless such changes are in writing and signed by both the Purchaser(s) and Contractor. Purchaser(s) hereby acknowledge that Purchaser(s) has read this DRAWING.

SYSTEMS PAVING, INC.
 By: **Jenemian Higa** (Signature) **Holly Brobst** (Print Name)
 Date: **10/31/25**
 Signature: _____ Date: _____

Windcrest - Building Services

8601 Midcrown
Windcrest, TX 78239
210-655-0022

Monday, December 29, 2025

Invoice for Permit Number 25-4857

System Pavers - Luke Yoder
409 Driftwind Dr
San Antonio TX 78239

Two Convenient Payment Options Available

Pay Online with your Discover, Visa, Mastercard or with your Escrow Account through the MyGovernmentOnline.org portal:

Go to www.mygovernmentonline.org and login with your user account. Click on the "Account" button at the top right section of the page. Scroll down to the "My Permits" section. Locate the permit number you wish to pay and click on "View Permit". Click on the "Payments" tab. Click on the "Pay Online" button near the bottom of the page to pay the balance with your Discover, Visa, MasterCard or Escrow Account. Once you have completed processing your payment, please allow the permit review staff sufficient time to review your project and follow-up with you.

Plan review process will not begin until fees are paid

Pay In-Person (Cash, Check, Discover, Visa or Mastercard):

WINDCREST
WINDCREST, TX 78239

Fee Type	Amount Due	Amount Paid
Driveways	\$120.00	\$120.00
Credit Card Processing Fee	\$3.60	\$3.60
Plan & Revised Plan Review Fee (Building Inspector)	\$60.00	\$60.00
Credit Card Processing Fee	\$1.80	\$1.80
Variance Request	\$0.00	\$0.00
Other/Misc.	\$35.00	\$35.00
	\$220.40	\$220.40
	Balance to Pay: \$0.00	

CITY OF WINDCREST
<http://windcrest-tx.gov>

REC#: 00395535 12/29/2025 10:45 AM
OPER: 00 TERM: 011
REF#:

TRAN: 402.0000 BLDG PERMITS
25-4857 409 DRIEFTWIND VARIANCE
BUILDING PERMIT FEE 35.0000

TENDERED: 35.00 CASH
APPLIED: 35.00-

CHANGE: 0.00

