

City of Windcrest



AGENDA BOARD OF ADJUSTMENT MEETING JULY 29, 2024

CITY COUNCIL CHAMBERS @ 8601 MIDCROWN

6:00 P.M.

NOTICE IS HEREBY GIVEN THAT A CITY OF WINDCREST BOARD OF ADJUSTMENT MEETING WILL BE HELD AT WINDCREST CITY HALL, 8601 MIDCROWN, WINDCREST, TEXAS ON THE 29TH DAY OF JULY 2024, STARTING AT 6:00 P.M. DURING THE MEETING THE FOLLOWING SUBJECTS WILL BE CONSIDERED AND THE BOARD MAY TAKE ACTION ON ANY OF THE LISTED SUBJECTS.

THE BOARD OF ADJUSTMENT RESERVES THE OPTION TO RECESS THE MEETING DURING THE EVENING OF JULY 29, 2024, AND TO RECONVENE THE MEETING ON THE FOLLOWING DAY, JULY 30 2024, AT 9:00 A.M. AT THE WINDCREST CITY HALL, 8601 MIDCROWN, WINDCREST, TEXAS.

NOTICE OF ASSISTANCE AT THE PUBLIC MEETING

The City of Windcrest Council Chambers are wheelchair accessible, and accessible parking spaces are available. In compliance with Americans with Disabilities Act, the City of Windcrest will provide reasonable accommodations for persons attending the meeting. To better serve you, requests should be received 48 hours prior to the meeting. Please contact the City Secretary's Office, at 210-655-0022 ext. 2150 or Fax 210-655-8776, or 711 Texas Relay.

I. Call to Order

II. Roll Call

III. Vote to Excuse Absent Board Members

IV. Pledge of Allegiance

V. Citizens to be Heard

- Citizens may address the Board of Adjustment on topics not on the agenda for no more than three (3) minutes.
- In addition to the foregoing, citizens shall also have the opportunity to address the Board of Adjustment during consideration of posted agenda items for no more than six (6) minutes.
- A City Official may make a statement of specific factual information in response to an inquiry made by a member of the public, or a recitation of existing policy in response to an inquiry made by a member of the public.

VI. Presentations by Applicants

- a) Applicant of 506 Crestway Dr. may present their request to the Board of Adjustment regarding a request for a variance from the City of Windcrest Code of Ordinances Sec. 103.58(b)(12)(e) to permit a non-masonry building more than 144 square feet in area and taller than 9 feet in height.

- b) Applicant of 506 Crestway Dr. may present their request to the Board of Adjustment regarding a request for a variance from the City of Windcrest Code of Ordinances Sec. 103-58(b)(12)(c), to construct an accessory building forward of the rear-most portion of the main structure.
- c) Applicant of 506 Crestway Dr. may present their request to the Board of Adjustment regarding a request for a variance from the City of Windcrest Code of Ordinances Sec. 103-58(b)(12)(d), to construct a masonry accessory building closer than 10 feet to the lot lines.

VII. Public Hearings

Opening of Public Hearings

- a) Public hearing to receive comments from the public regarding a request for a variance from the City of Windcrest Code of Ordinances Sec. 103.58(b)(12)(e) to permit a non-masonry building more than 144 square feet in area and taller than 9 feet in height, at 506 Crestway Dr., Windcrest, Texas 78239, assigned Bexar County Appraisal District Property ID No. 342859.
- b) Public Hearing to receive comments from the public regarding a request for a variance from the City of Windcrest Code of Ordinances Sec. 103-58(b)(12)(c), to construct an accessory building forward of the rear-most portion of the main structure, at 506 Crestway Dr., Windcrest, Texas 78239, assigned Bexar County Appraisal District Property ID No. 342859.
- c) Public Hearing to receive comments from the public regarding a request for a variance from the City of Windcrest Code of Ordinances Sec. 103-58(b)(12)(d), to construct a masonry accessory building closer than 10 feet to the lot lines, at 506 Crestway Dr., Windcrest, Texas 78239, assigned Bexar County Appraisal District Property ID No. 342859.

Close of Public Hearings

VIII. Items for Discussion/Action

- a) The Board of Adjustment will review, discuss, and may take action on a request for a variance from the City of Windcrest Code of Ordinances Sec.103-58103.58(b)(12)(e) to permit a non-masonry building more than 144 square feet in area and taller than 9 feet in height, at 506 Crestway Dr., Windcrest, Texas 78239, assigned Bexar County Appraisal District Property ID No. 342859.
- b) The Board of Adjustment will review, discuss, and may take action on a request for a variance from the City of Windcrest Code of Ordinances Sec. 103-58(b)(12)(c), to construct an accessory building forward of the rear-most portion of the main structure, at 506 Crestway Dr., Windcrest, Texas 78239, assigned Bexar County Appraisal District Property ID No. 342859.
- c) The Board of Adjustment will review, discuss, and may take action on a request for a variance from the City of Windcrest Code of Ordinances Sec. 103-58(b)(12)(d), to construct a masonry accessory building closer than 10 feet to the lot lines, at 506 Crestway

Dr., Windcrest, Texas 78239, assigned Bexar County Appraisal District Property ID No. 342859.

IX. General Announcements & Future Agenda Items Requested

Per Ordinance No. 618, repealing Ordinance No. 593; Section 9: Every agenda shall include an item entry granting a member the opportunity to propose an item for consideration of future agendas for Regular or Special Meetings. Any member may request the inclusion of such items at any meeting.

X. Adjournment

AGENDA NOTICES:

DECORUM REQUIRED:

Any disruptive behavior, including shouting or derogatory statements or comments may be ruled out of order by the Presiding Officer. Continuation of this type of behavior could result in a request by the Presiding Officer that the individual leave the meeting, and if refused, an order of removal.

ACTION BY COUNCIL AUTHORIZED:

The Board of Adjustment may vote and/or act upon any item within this Agenda. The Board reserves the right to retire into executive session concerning any of the items listed on this Agenda, pursuant to and in accordance with Texas Government Code § 551.072 (Deliberations about Real Property); § 551.073 (Deliberations about Gifts & Donations); § 551.076 (Deliberations about Security Devices); § 551.087 (Economic Development); and, § 551.071 to seek the advice of its attorney about pending or contemplated litigation, settlement offer or on a matter in which the duty of the attorney to the governmental body under the Texas Disciplinary Rules of Professional Conduct of the State Bar of Texas conflict with the Open Meetings Act and may invoke this right where the City Attorney, the Mayor or a majority of the Governing Body deems an executive session is necessary to allow privileged consultation between the City Attorney and the governing body, if considered necessary and legally justified under the Open Meetings Act. The attorney may appear in person or appear in executive session by conference call in accordance with applicable state law.

EXECUTIVE SESSIONS APPROVED BY CITY ATTORNEY:

This agenda has been reviewed and approved by the City's legal counsel and the presence of any subject in any Executive Session portion of the agenda constitutes a written interpretation of Texas Government Code Chapter 551 by legal counsel for the body and constitutes an opinion by the attorney that the items discussed therein may be legally discussed in the closed portion of the meeting considering available opinions of a court of record and opinions of the Texas Attorney General known to the attorney. This provision has been added to this agenda with the intent to meet all elements necessary to satisfy Texas Government Code Chapter 551.144(c) and the meeting is conducted by all participants in reliance on this opinion.

ATTENDANCE BY OTHER ELECTED OR APPOINTED OFFICIALS:

It is anticipated that members of the City Council, or other city board, commissions and/or committees may attend the meeting in numbers that may constitute a quorum of the other city boards, commissions

and/or committees. Notice is hereby given that the meeting, to the extent required by law, is also noticed as a meeting of the other boards, commissions and/or committees of the City, whose members may be in attendance. The members of the boards, commissions and/or committees may participate in discussions on the same items listed on the agenda, which occur at the meeting, but no action will be taken by such in attendance unless such item and action is specifically provided for on an agenda for that board, commission, or committee subject to the Texas Open Meetings Act.

I, the undersigned authority, do hereby certify that the above Notice of Meeting of the Board of Adjustment of the City of Windcrest is a true and correct copy of said Notice and was posted on the bulletin board at City Hall of said City in a convenient place to the public and said Notice was posted more than seventy-two (72) hours prior to the meeting on July 29, 2024.

By: Rachel C. Dominguez, City Secretary

VARIANCE CHECKLIST

JUL 02 '24 16:18

DATE 07/02/24

PERMIT NUMBER 24-2987

PERMIT DATE 04/15/24 DENIAL DATE 04/25/24 2ND DENIAL DATE _____

CONTRACTOR AFFORDABLE METAL CARPORTS

PHONE 281-562-0644

BILLING ADDRESS 9106 US 69 Pollok TX 75969

APPLICANT CHAD MOWELL

PHONE [REDACTED]

ADDRESS 506 CRESTWAY

ITEM FOR DISCUSSION 1200 FT DETACHED METAL GARAGE
30' x 16'

☒ ORIGINAL VARIANCE APPLICATION FORM/payment of \$35.00 (due at point of complete packet filing)

☒ SITE PLAN/PLANS/ project plans showing the dimensions of the structure and setbacks.

(Please have plans include any plumbing/electrical/HVAC proposed SITE PLANNED SEPARATELY)

(plumbing/electrical/HVAC PERMITS PULLED SEPARATELY)

☒ FIRST DENIAL LETTER FROM CITY INSPECTOR

☐ 2ND DENIAL LETTER FROM CITY INSPECTOR

☒ LETTER FROM APPLICANT/ stating the hardship of which the appeal hearing is being requested.

PERMIT CLERK



SHANNON STREY

DATE

07/02/24



WINDCREST

TEXAS

Universal Development Application

(Please use separate application for each submittal)

JUL 02 24 16:18

- | | | |
|---|---|--|
| ☐ Land Use Amendment | ☐ Land Study | ☐ Replat |
| ☐ Thoroughfare Amendment | ☐ Final Plat | ☐ Amending Plat |
| ☐ Zoning Change (choose one) | ☐ Preliminary Plat | ☐ Minor Plat |
| ☐ Straight Zoning | ☐ Specific Use Permit | ☐ Vacating Plat |
| ☐ PUD (Planned Unit Development) | ☐ Conditional Use Permit | ☐ Site Plan |
| ☒ Variance | ☐ Exception | ☐ Tree Removal Permit |

Project Name: **Detached Garage**

Total Acres: **0.507**

Survey Name: _____

Abstract No.: _____

Project Location (address): **506 Crestway Dr. Windcrest, Tx 78239**

Current Zoning: _____

Current Use: _____

of Lots/Units: _____

For Commercial/Industrial:

Proposed Zoning: _____

Proposed Use: _____

Please Circle One:

Total Proposed Sq. Ft. _____

SF MF COMM IND OTHER

Applicant Information:

Property Owner Name: **Chad Mowell & Rainbeau Presti**

Address: **506 Crestway Dr.**

City: **Windcrest**

St/Zip: **78239**

Phone: _____

Fax: _____

E-Mail: _____

Applicant (if different than Owner): _____

Address: _____

City: _____

St/Zip: _____

Phone: _____

Fax: _____

E-Mail: _____

Representative: _____

Address: _____

City: _____

St/Zip: _____

Phone: _____

Fax: _____

E-Mail: _____

Authorization: By signing this application, you hereby grant Staff access to your property to perform work related to your application. Also, you waive the statutory time limits in accordance with Section 211, 212 and 245 of the Texas Local Government Code.

Owner's Signature

Chad Mowell & Rainbeau Presti

Typed/Printed Name

Known to me to be the person whose name is subscribed to the above and foregoing instrument, and acknowledged to me that they executed the same for the purposes and consideration expressed and in the capacity herein stated. Given under my hand and seal on this **24TH** day of **JUNE**, 20**24**.

JUNE

24

Notary Public



GEORGE PRESTI
MY COMMISSION EXPIRES
10/23/2025
NOTARY ID: 404805

City of Windcrest Use Only

Project No.: _____

Total Fees: _____

Payment Method: _____

Submittal Date: _____

Accepted by: _____

Attn: Windcrest Board of Adjustment

From: Chad Mowell & Rainbeau Presti
506 Crestway Dr. Windcrest, Tx 78239

Re: Permit # 24-2987 Variance Request

We are the property owners/residents of 506 Crestway Dr. On April 15th, 2024, we submitted a permit application to the City (through our contractor, Affordable Metal Carports LLC) for a 30'x40' metal clad detached garage, to be constructed in our back yard (see attached site plans and related documents). On April 29th, 2024 we received a Plan Review letter (also attached) with comments from the City building inspector, citing the following sections of City code:

Sec. 113-112. - Yard regulations. (a)Front yard. There shall be a front yard along the front line of the lot. The minimum depth of such front yard shall be 25 feet.(b)Side yard. There shall be a side yard on each side of a building of not less than ten percent of the width of the lot, but such side yard shall not be less than ten feet.

Sec. 113-82. - General requirements. (g)Masonry requirement. No building (except for those detached accessory buildings located in R-1 Zoning Districts of the City of Windcrest specifically described in chapter 103, section 10-58, shall be erected, converted, enlarged, reconstructed, or structurally altered unless at least 90 percent of its first story exterior walls shall be of masonry construction.

Chapter 103 Section 10-58 does not apply to this permit application. Section 10-58 applies to accessory structure (s) under 144 square feet, less than 9' tall, etc. (see code for a full list of requirements). The proposed garage must meet the masonry and setback requirements.

We hereby request a variance to the yard regulations cited in Section 113-112 based on the following:

Our proposed detached garage is facing the alley, so the "side yards" for it are 7' on the north side and 16'1" on the south side per the site plan we included in our permit application. What is not pictured on the survey we used for our site plan is a very large, beautiful oak tree near the southeast corner of the proposed detached garage (see attached photo/diagram). In order to avoid cutting down this healthy, mature tree, we chose to place the building further north on our property. It is our position that as an accessory building (see Attachment A: Section 113-5 Definitions: Garage, private), the required setbacks are 3' from all lot lines and 10' from the main dwelling (see Attachment A: Section 103-58, Subsection 12(d)), which our proposed detached garage is in compliance with. Based on the Plan Review letter's imposition of Section 113-112's yard regulations, we will need a variance for the 7' "side yard" in order to proceed as planned and save the tree. The location of the tree creates a special circumstance affecting our land, granting the variance is necessary for us to preserve the tree for our future enjoyment.

Furthermore, it is unclear to us why the front yard regulation was included in the plan review letter. Our proposed detached garage is in our back yard, in excess of 150' from our front lot line.

We hereby request a variance to the masonry requirement cited in Section 113-82(g) based on the following:

In March of 2023, Windcrest City Council adopted an updated version of Chapter 113. One of the revisions in that code was to strike Section 113-82(g) completely (see Attachment B, bottom of page 2). The removal of that section was done to be in compliance with State law passed in 2019 prohibiting municipalities from mandating building materials (HB 2439, which updated Texas Government Code Section 3000.002, see Attachment A). While we are not sure why we would be required to obtain a variance to a code that no longer exists (and did not exist at the time of our permit application), we are still requesting it as the masonry requirement language still exists in other sections of code that have still not been updated to be in compliance with Texas Government Code. Requiring us to comply with a masonry requirement, in defiance of State law, would also impose an undue financial hardship on us, as the cost for masonry is significantly higher than metal cladding. As a result, we would be unable to construct the detached garage, which would perpetuate the existing hardship of having to store our collectible vehicles outdoors where they are

exposed to the elements and subject to weather related damage or potential theft.

The City inspector's interpretation of the Ordinances seeks to deprive us of rights commonly enjoyed by other properties in our district; e.g. the 20'x65' metal detached garage directly next door to us which was constructed in 2021, subject to the same codes that are currently in effect - that permit application was deemed by the City to have been code compliant and a permit was issued, without any variance requirements for building materials or size or an imposition of a 10' side yard. As such, granting our variance request will not confer any special privilege upon us.

Granting our variance request will not be detrimental to public health, safety, or welfare and will not be injurious to other properties in our area. We have attached letters from the residents of all the properties directly adjacent to ours, stating they do not object to the construction of our metal clad detached garage and that they support the granting of our variance request.

As an aside, we believe the attached site/building plans are what the City received and reviewed. We attempted to confirm this by requesting a copy of our permit application from the City prior to submitting this variance request and were told we would need to do an open records request to obtain that information.

We appreciate the Board's time and consideration of our variance request and look forward to an expedient resolution to these matters so we may finally proceed with the construction of our detached garage.

Respectfully Submitted,

  7-1-2024
Chad Mowell & Rainbeau Presti



Date: Monday, April 29, 2024

Irvin Rodriguez
Affordable Metal Carports LLC
9106 US 69
Pollok TX 75969
[REDACTED]

Permit Number 24-2987
Job Address: 506 Crestway Rd, Windcrest 78239

Dear Irvin Rodriguez,

Staff has completed its review of plans for the [REDACTED] that is to be located at 506 Crestway Rd, Windcrest 78239. Comments from this review follow.

Residential Plan Review

The following comments have been provided by BB Inspections Reviewer. Should you have any questions or require additional information regarding any of these comments, please contact BB Inspections Reviewer by telephone at [REDACTED] or by email at bbihost.mgo@gmail.com.

Sec. 113-112. - Yard regulations.

(a)Front yard. There shall be a front yard along the front line of the lot. The minimum depth of such front yard shall be 25 feet.(b)Side yard. There shall be a side yard on each side of a building of not less than ten percent of the width of the lot, but such side yard shall not be less than ten feet.

Sec. 113-82. - General requirements.

(g)Masonry requirement. No building (except for those detached accessory buildings located in R-1 Zoning Districts of the City of Windcrest specifically described in chapter 103, section 10-58, shall be erected, converted, enlarged, reconstructed, or structurally altered unless at least 90 percent of its first story exterior walls shall be of masonry construction.

Chapter 103 Section 10-58 does not apply to this permit application. Section 10-58 applies to accessory structure (s) under 144 square feet, less than 9' tall, etc. (see code for a full list of requirements). The proposed garage must meet the masonry and setback requirements.

BB 3170

4/29/2024 1:54:05 PM

24-2987

Page 2

Please revise the project plans to address the comments noted above. Following revision, please upload one full set of the revised drawings in PDF format. To access your project online, please go to www.mygovernmentonline.org and use the online portal to upload your drawings in PDF format.

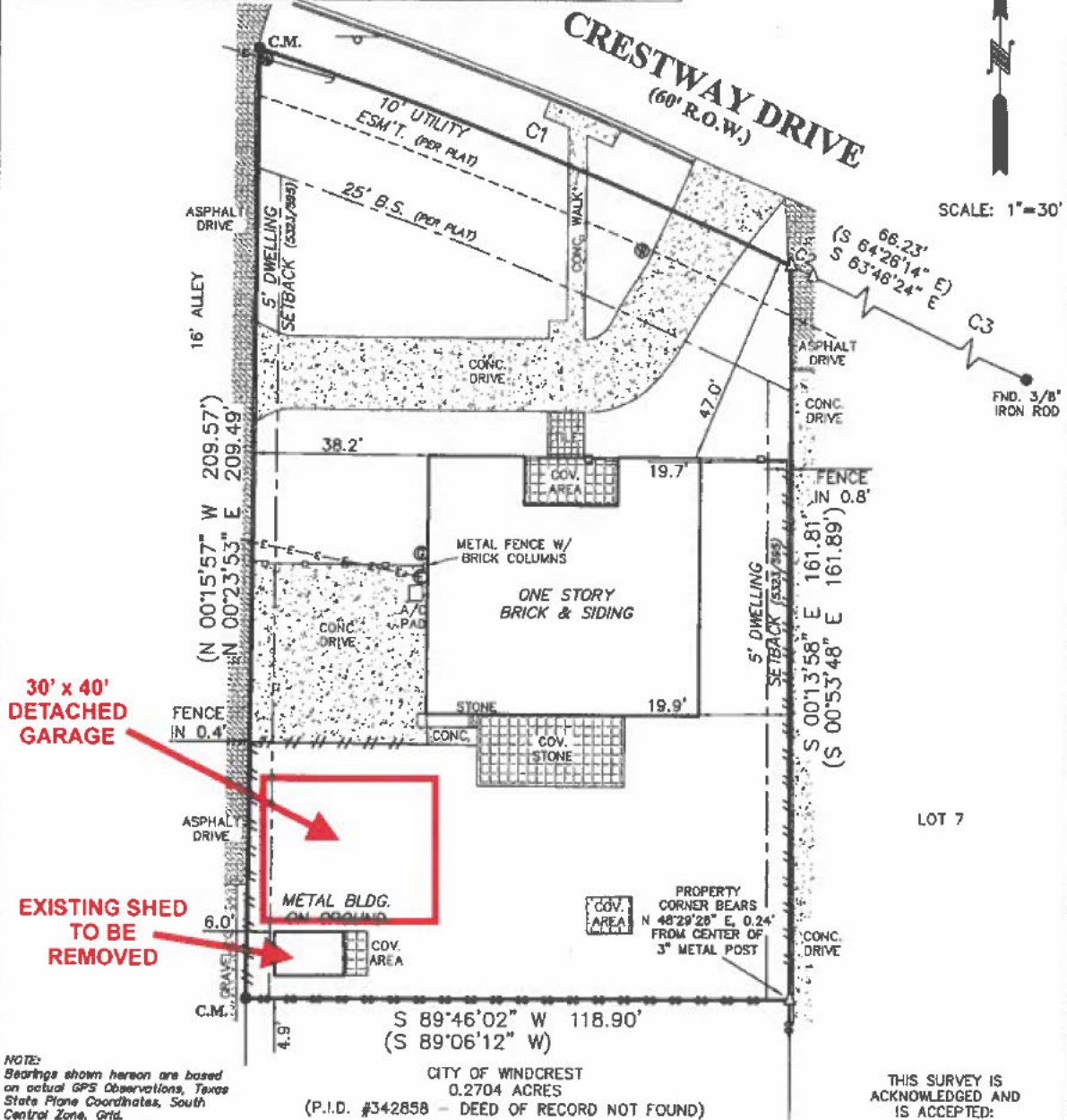
Should you have questions regarding specific comments, please contact the staff member referenced under the section in which the comment occurs. Should you have questions or require additional information regarding the plan review process itself, please feel free to contact me directly. I can be reached by telephone at (210) 655-0022, or by e-mail at ssrey@windcrest-tx.gov.

Thank you,

Shannon Strey

City of Windcrest
8601 Midcrown Street
Windcrest, TX 78239
(210) 655-0022

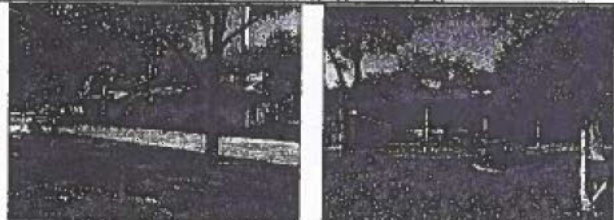
CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	925.36	126.06	125.96	S 87°59'40" E	7°48'19"
C2	925.36	5.15	5.15	S 63°55'57" E	0°19'07"
C3	985.36	67.16 (67.60)	67.14	S 65°43'33" E	3°54'18"



Property Address:
506 CRESTWAY DRIVE

Property Description:
LOT 6, BLOCK 28, WINDCREST, UNIT 11, IN THE CITY OF WINDCREST, AN ADDITION IN BEXAR COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOLUME 4960, PAGES 166-167, DEED AND PLAT RECORDS OF BEXAR COUNTY, TEXAS.

Owner:
MATHEW ASHER DORN AND LISA JANE DORN



Westar Alamo
LAND SURVEYORS, L.L.C.
P.O. BOX 1648 BOERNE, TEXAS 78005
PHONE (210) 372-8500 FAX (210) 372-8099

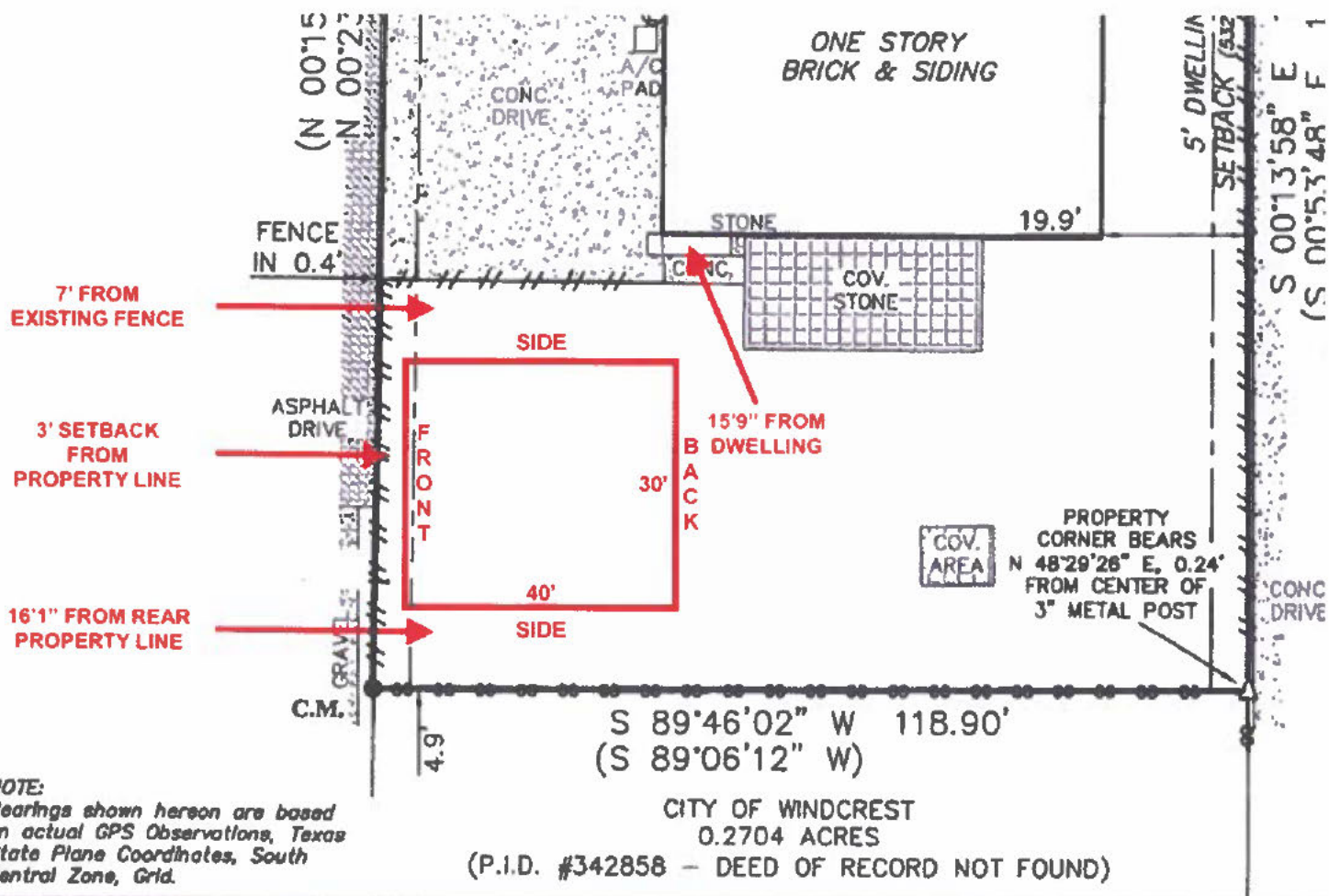
LEGEND

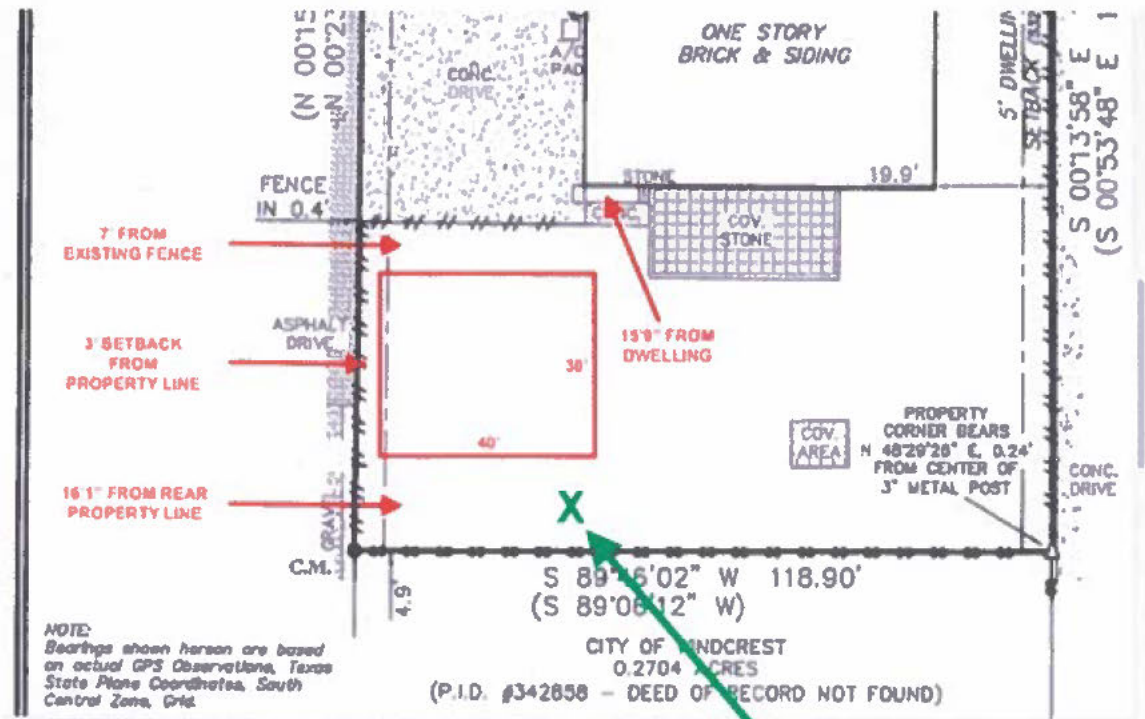
- = CALCULATED POINT
- = FND. 1/2" IRON ROD
- = RECORD INFORMATION
- = BUILDING SETBACK
- C.M. = CONTROLLING MONUMENT
- = OVERHEAD ELECTRIC
- = POWER POLE
- = ELECTRIC METER
- = GAS METER
- = WOOD FENCE
- = CUY WIRE
- = METAL FENCE
- = SIGN
- = CHAIN LINK FENCE
- = WATER METER

DRAWN BY: JB

STATE OF TEXAS
REGISTERED
MARK J. EWALD
PROFESSIONAL
LAND SURVEYOR
5095

MARK J. EWALD
Registered Professional Land Surveyor
Texas Registration No. 5095





Attachment A

(Addendum to Permit # 24-2987 Variance Request)

Section 113-5: Definitions:

Garage, private means an accessory building or portion of the main use building, designed for or used for the housing of motor-driven vehicles which are the property of and for the private use of the occupants of the lot on which the private garage is located. Not more than one of the vehicles may be a vehicle of not more than one and three-quarter ton capacity.

Section 103-58 Subsection 12(d):

All accessory buildings shall be set-back not less than ten feet from the main dwelling and not less than three feet from all lot lines and shall not occupy any portion of easements if placed on permanent foundation. If portable the three-foot setback applies. Masonry buildings shall not be less than ten feet from all lot lines and shall not occupy any portion of easements.

Texas Government Code:

Sec. 3000.002. CERTAIN REGULATIONS REGARDING BUILDING PRODUCTS, MATERIALS, OR METHODS PROHIBITED. (a)

Notwithstanding any other law and except as provided by Subsection (d), a governmental entity may not adopt or enforce a rule, charter provision, ordinance, order, building code, or other regulation that:

- (1) prohibits or limits, directly or indirectly, the use or installation of a building product or material in the construction, renovation, maintenance, or other alteration of a residential or commercial building if the building product or material is approved for use by a national model code published within the last three code cycles that applies to the construction, renovation, maintenance, or other alteration of the building; or
- (2) establishes a standard for a building product, material, or aesthetic method in construction, renovation, maintenance, or other alteration of a residential or commercial building if the standard is more stringent than a standard for the product, material, or aesthetic method under a national model code published within the last three code cycles that applies to the construction, renovation, maintenance, or other alteration of the building.

Attachment B

(Windcrest Code of Ordinances Chapter 113)

~~in the "R 2", "B 1", "B 2", "B 3" and "O 1" Zoning Districts unless and until the plans have been reviewed by the planning and zoning commission and approved by the city council.~~

- ~~(5) It shall not be necessary for the planning and zoning commission to review building plans for the finish out of a structure or building which do not alter the exterior appearance or the structural integrity of the building. Finish-outs which do not alter the exterior appearance of a structure or its structural integrity may be approved by the city permits officer.~~
- ~~(g) *Inspection of building construction.* The planning and zoning commission shall also have the responsibility for reviewing inspection reports of all building construction within said "R 2", "B 1", "B 2", "B 3" and "O 1" Districts to assure compliance with all standards and specifications contained in the approved building plans pertaining thereto.~~
- ~~(eh) *Other duties.* The planning and zoning commission shall perform such other duties as the city council shall from time to time prescribe that relate to land development, and community planning, and the comprehensive plan.~~

* * * 1

ARTICLE III. DISTRICTS, GENERAL ZONING

DIVISION I. GENERALLY

Sec. 113-81. Districts.

For the purpose of regulating and restricting the height and size of buildings and other structures, the percentage of lot that may be occupied, the size of yards, and other open spaces, the density of population, and the location and use of buildings, structures, and land for trade, residence or other purposes, the City of Windcrest, Texas, is hereby divided into districts of which there shall be ~~five~~ six (6) classes in number, and which shall be known as:

"R-1" ~~One~~Single-Family Dwelling District

"R-2" Duplex, ~~and~~ Apartment, and Single-Family Dwelling District

"O-1" Professional Office District

"B-1" Neighborhood Business District

"B-2" Business District

¹ Sections 113-68 through 113-80 which all pertain to the board of adjustment are denoted by "* * *" as no changes are being made to any of these sections. The "* * *" denotes the omission of the sections so that they are not deleted or amended. The omission also saves space in the final ordinance that will be recommended to city council for adoption by the planning and zoning commission.

"B-3" Business District

Sec. 113-82. General requirements.

- (a) *Vacated public areas.* Whenever any street, alley or other public way is lawfully vacated by the City of Windcrest, Texas, the zoning district adjoining each side of such street, alley or public way shall be automatically extended to the center of such vacated area and thereafter all land included in said vacated area shall be subject to all applicable regulations of the extended districts.
- (b) *Temporary "R-1" zoning.* ~~After the effective date of this chapter,~~ all territory annexed to the City of Windcrest, Texas, shall be classified as "R-1" ~~One~~ Single-Family Dwelling District until permanently zoned by the governing body of the City of Windcrest, Texas. The planning and zoning commission shall as soon as practicable, after annexation of any territory to the City of Windcrest, Texas, institute proceedings on its own motion to give the newly annexed territory permanent zoning, and the procedure to be followed shall be the same as is provided by law for adoption of original zoning regulations, except as provided in this chapter.
- (c) *Use regulations.* No building shall be erected, converted, enlarged, reconstructed, or structurally altered, and no building or land shall be used for any purpose that is not permitted in the district in which the building or land is situated.
- (d) *Building height regulations.* No building or structure shall be erected, converted, enlarged, reconstructed, or structurally altered to exceed the height limit herein established for the district in which the building is situated.
- (e) *Yard regulations.* The minimum yards and other open spaces, including lot area per family, required by this chapter for each and every building existing at the time of the passage of this chapter, or for any building hereafter erected, shall not be encroached upon or considered as yard or open space required for any other building. No lot area shall be reduced to an area less than the district requirements of this chapter. The provisions of this section shall not apply to any community unit plan processed in accordance with the provisions of Article III, division 8 of this Chapter.
- (f) *One main building for one lot.* Every building hereafter erected, converted, enlarged, reconstructed, or structurally altered shall be on one lot. Each lot shall have been formally platted in the manner provided for subdivisions under chapter 111 of this Code, and approved by the planning and zoning commission and the city council. No more than one main building shall be located on one lot, except as otherwise provided in this chapter.
- ~~(g) *Masonry requirement.* No building (except for those detached accessory buildings located in R-1 Zoning Districts of the City of Windcrest specifically described in chapter 103, section 10-58, shall be erected, converted, enlarged, reconstructed, or structurally altered unless at least 90 percent of its first story exterior walls shall be of masonry construction.~~
- (gh) *Fence height regulation.* No fence shall be erected, converted, enlarged, reconstructed

Attn: Windcrest Board of Adjustment
Re: 506 Crestway Dr

We reside at 8814 Midcrown Dr. We are aware that our neighbors at 506 Crestway Dr. have applied for a permit to construct a 30' x 40' metal clad detached garage in their back yard. We do not object to our neighbors constructing their detached garage and support the Board of Adjustment granting their variance request to do so. Thank you for your time and review of this letter.

Signed,

 Anne Yearly 6/21/2024
James & Anne Yearly

Attn: Windcrest Board of Adjustment
Re: 506 Crestway Dr

I reside at 8810 Midcrown Dr. I am aware that my neighbors at 506 Crestway Dr. have applied for a permit to construct a 30' x 40' metal clad detached garage in their back yard. I do not object to my neighbors constructing their detached garage and support the Board of Adjustment granting their variance request to do so. Thank you for your time and review of this letter.

Signed,

 6/21/24
Denette Guzman

Attn: Windcrest Board of Adjustment
Re: 506 Crestway Dr

I reside at 8806 Midcrown Dr. I am aware that my neighbors at 506 Crestway Dr. have applied for a permit to construct a 30' x 40' metal clad detached garage in their back yard. I do not object to my neighbors constructing their detached garage and support the Board of Adjustment granting their variance request to do so. Thank you for your time and review of this letter.

Signed,

Mary Anne Feltner 6-20-24
Mary Anne Feltner

Attn: Windcrest Board of Adjustment
Re: 506 Crestway Dr

I reside at 510 Crestway Dr. I am aware that my neighbors at 506 Crestway Dr. have applied for a permit to construct a 30' x 40' metal clad detached garage in their back yard. I do not object to my neighbors constructing their detached garage and support the Board of Adjustment granting their variance request to do so. Thank you for your time and review of this letter.

Signed,

 6-20-24

Kevin Compton



Affordable Metal Carports
9106 US
Pollok, TX 759
sales.amcllc2020@gmail.com

Customer Order - Apr 11, 2024

Ship To				Dealer	
Name Chad Mowell		Order # 1712842581486438		Lisa Ogle	
Billing Address				Phone	
City		State		Zip Code	
Install Address 506 Crestway Rd					
City Windcrest		State TX		Zip Code 78239	
Email		Phone		Mobile #	

Building Info		Size		Color		Anchoring & Site Preparation	
Style:	Garage			Roof	Pewter Gray	Installation Surface: Concrete	
Roof Overhang:	6"			Trim:	Black	Electricity Available	
Roof Style:	Vertical	30' Width	X 41' Roof Length	Wall Siding Gable End	Blue	Site Ready For Installation	
Leg Style:	Standard		X 12' Leg Height	Wall Siding Sidewall	Blue	Jobsite Level (No More Than 3" Off Level)	
Brace:	Standard Braces			Wainscot	Pewter Gray	Preferred Payment Method	
						Engineer Certified: 145 mph/35 psf Certified	

Design Link & Notes

Notes, Comments, Questions Here is your building quote for consideration. Thanks again for the opportunity to earn your business. If you have any questions, please do not hesitate to contact me. -Lisa

Building Images



Perspective View



Front



Left Side



Right Side



Back

#1712842581486438

<https://design.affordablemetalcarports.com/#a4b3865e688fecfab09109a412dbc501>

Description	Quantity	Amount
Style: Garage		
Base Price: 30'x41'	1	\$7,515.00
Installation Surface: Concrete	1	
Roof: Pewter Gray	1	
Trim: Black	1	
Rollup Door: White	1	
Wall Siding Sidewall: Blue	1	
Wall Siding Gable End: Blue	1	
Gable Ends Wainscot: Pewter Gray	1	\$950.00
Side Walls Wainscot: Pewter Gray	1	\$626.00
Roof Style: Vertical	1	
Roof Pitch: 3/12	1	
Roof Overhang: 6"	1	
Trusses: Triple Wide Truss	1	
Brace: Standard Braces	1	
Engineer Certified: 145 mph/35 psf Certified	1	
Leg Height: 12'	1	\$1,224.00
Left Side: Fully Enclosed - Siding: Vertical	1	\$1,476.00
Right Side: Fully Enclosed - Siding: Vertical	1	\$1,476.00
Front End: Fully Enclosed - Siding: Vertical	1	\$2,724.00
Back End: Fully Enclosed - Siding: Vertical	1	\$2,724.00
Walk-in Door (36x80)	1	\$350.00
24W x 36H Window	6	\$1,170.00
10x10 Rollup Door - Corner Style: Square (Traditional)	1	\$1,090.00
8x8 Rollup Door - Corner Style: Square (Traditional)	3	\$2,190.00
Additional Fees		
14 Gauge Framing (Standard)		
29 Gauge Ag Panel (Standard)		
summer 20	1	-\$4,703.00
free color matching screws	1	
30x40 concrete pad	1	\$11,400.00
	Subtotal:	\$30.20
	Sales Tax (8.25%):	\$2,492.00
	Total Order Amount:	\$32,704.00
	Deposit Required to Order:	\$5,136.00
	Final Balance Due at Installation:	\$27,568.00

Signatures	
General Contractor Signature:	
Date:	
Sales Representative Signature:	
Date:	
General Contractor Completion Signature:	
Date:	
Head Installer Completion Signature:	
Date:	

Purchase Terms and Agreements

Affordable Metal Carports LLC has terms and agreements that must be initialed and signed for. Once signed, the customer must comply with the terms and agreements as stated below.

Customers are considered 'The General Contractor' of the job project and Affordable Metal Carports will be subcontractors for the customer. Therefore, the general contractor is responsible for retrieving permits, clearing the installation area, revealing locations for underground water pipes, gas lines, etc. #1712842581486438

pipes, electrical lines, etc., and clearing any surrounding objects near the installation location of their structure. Affordable Metal Carports is not responsible for any damage to the surrounding area of the installation site. In case of inclement weather, the leader of the installation crew may advise it is reasonable to continue the installation, but the general contractor must sign a waiver stating he/she agrees with the leader of the install crew. If the general contractor grants the installation crew to work in inclement weather, Affordable Metal Carports, nor the installation crew is not responsible for any damage the weather may cause or any mud on the structure. If damages do occur, the general contractor agrees to indemnify and will not hold Affordable Metal Carports nor the installation crew liable for costs, including attorney fees, for such damages. Affordable Metal Carports nor the installation crew are not liable for any natural damage (inclement weather, trees falling on set structure, unlevel lots due to rain, etc.).

_____ Orders are made by how it is described on the contract. Any changes or deletions must be resubmitted to the authorized sales representative, who originally made the contract, if not the order will continue to stay the same until the office of Affordable Metal Carports has a new, revised, and signed order.

_____ A restock fee of 10% or \$250, whichever is more, will be added for customer cancellations, in the inconvenience of unprepared/unlevel site or customer wanting to reschedule within a week before installation date or during the process of the installation. Restock fees are apart from deposit and contract. Restock fees must be paid before the next install date can be available to the customer.

_____ Down payments are **NON-REFUNDABLE** after 24 hours of signature from general contractor and authorized sale representative on contract. If the contract has been revised during or after the 24-hour period, the 24-hour period will not be restarted, but will continue for the remainder of the time of the original document.

_____ Affordable Metal Carports reserves the right to update or change any price errors made by authorized sale representative. Affordable Metal Carports also reserves the right to cancel any order at any time. Furthermore, the general contractor agrees to give Affordable Metal Carports and installation crew up to 3 installation attempts to deliver said structure.

_____ General contractor understands the final balance must be paid in full at installation to Affordable Metal Carports LLC via Cashier Check, Money Order, debit, or credit card (if the price of structure is no more than \$10,000.00) or in cash (if approved by the office of Affordable Metal Carports). If the structure is through Rent to Own (RTO), a Happy sheet or Certificate of delivery paperwork will attach to the contract with the installation crew, for general contractor to sign and finalize at installation. Note that for any debit or credit card transaction there is a 3.4% charge fee. The general contractor **expressly** agrees that the structure that is being installed by the installation crew shall remain property of Affordable Metal Carports until payment is made in full.

_____ Once job has been completed, general contractor or authorized general contractor representative (must be 18 years or older) must make a complete walk-through of the metal structure and check all accessories (if any) with install crew. Once the walkthrough has been completed, the general contractor or authorized general contractor representative must sign the completion box in the contract. The general contractor or authorized general contractor representative must render the remaining final balance to the leader of the installation crew. The leader of the installation crew is an authorized representative of Affordable Metal Carports, who has the authorization to retrieve the final payment. Affordable Metal Carports hereby retains a Purchase Money Security Interest (PMSI) against said building as set forth in Section 9 of the Uniform Commercial Code as enacted in the state where the building is being installed. Failure to provide final payment will result in complete repossession of the unit. This does not relieve the general contractor of liability for specific performance of the contract including legal fees and court costs. In the event a general contractor or authorized general contractor representative compels the installation crew to remove, move, or alter the structure, Affordable Metal Carports & installation crew is not responsible for paying for damage that happens to the installation surface and/or the structure.

_____ For commercial structures (31ft or wider), double leg structures or any 15ft leg height or higher structures, a telehandler forklift **REQUIRED** for installation. All telehandler forklift rentals can be managed with the office of Affordable Metal Carports for general contractors, but t additional cost for the telehandler forklift necessary for their job site will be added to their final balance to pay once general contractor agrees and sign an agreement contract with Affordable Metal Carports LLC. The general contractor could refuse this service and rent/retrieve the necessary telehandler forklift for the job site. If this is the route the general contractor decides to do, general contractor must contact and confirm the type of telehandler forklift is necessary for the job site via email or text from the office.

_____ Installation site must be no more than 3 inches off level. In the event the installations site is more than 3 inches, the install crew can charge a reasonable leveling fee if they feel like it's needed to. The general contractor must also provide concrete blocks to make the structure level or must pay the return fee and cost of extra material needed to make the structure level. An additional labor charge will be added to orders for buildings being installed over RVs, Campers, Large Obstacles, Retaining Walls, Docks, Decks, Over Fences, etc.

_____ The general contractor may delay delivery date for up to 60 days with no price increase. After 60 days, the contract is subject to any price increase that arises. In no event will Affordable Metal Carports be liable for any damage or consequential damage resulting in any delay in delivery or installation of the unit. At Affordable Metal Carports our lead time can range from 2 weeks to 4 weeks. However that is not guaranteed due to weather inclement, if any special material needs to be ordered for the customer's structure, awaiting for permits, or awaiting any site specifications drawings, but even after that timer doesn't start until the customer receives a call from our office staff to verify their order, which means verifying their billing & install address, verifying their colors for their structure, form of payment at the end of the completion of their job, verifying that their install surface is ready, and verifying what accessories will be installed to their structure, and customer

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reassures there's no gas pipes, water pipes, or any type of piping or electricity underneath the install surface. Once verification has been completed then the scheduling department will be able to receive the customer contract to find any available dates within the 2-4 week lead time, and contact the customer to verify if the available date is good for them and then alongside with other contracts, have a complete RUN for our installation crews to head down to the area where the customer desires to install their structure.

Warranty

All buildings have a 90-day workmanship warranty effective upon the day of installation. This will cover any leaking to the building. All accessories have 30-day workmanship assuming regular care and maintenance. Manufactured panels have a warranty for 20 years assuming regular care and maintenance. This warranty will **ONLY** cover rusting. Manufactured square tubing has a 10–20-year warranty assuming regular care and maintenance. This warranty will **ONLY** cover rusting. Any installation concern must be reported to Affordable Metal Carports within 30 days of the beginning of the day of installation. Installation surface must be leveled prior to installation, otherwise unit may be installed 'as is' and all warranties will be void. Any structures purchased with a Roof length of 36 feet or longer that is not vertical roof will forfeit warranty.

Warranty Disclaimer

There are no warranties which extend beyond the description on the face hereof. The warranties in this agreement are in lieu of all other warranties express or implied, including without limitation, any warranties of merchantability or fitness for a particular purpose, which are expressly claimed. General contractors must have an original copy of this document at time of claim. Limitation on Liability. In no event will the authorized sales representative be liable to the general contractor and/or any third parties for any incidental damages. These include consequential damages, special damages, exemplary damages, or labor charges, including without limitation lost revenues and profits, even if it has been advised of the possibility of such damages. General Contractor must have an original copy of this document at time of claim. Said warranty does not extend to transferee owners of the product. Exclusions and limitations. Affordable Metal Carports does not warrant any products not installed and anchored by a factory-approved installer utilizing a factory-approved anchoring system. Installation done by anyone other than a factory approved installer utilizing a factory approved system will **VOID** your warranty. Damages from improper anchoring, strong winds, snow, or ice are not considered defects. In the event the structure has been altered either adding another structure to the already completed structure, removing panels, anchors, framework, or modify the unit completely, adding plumbing to the structure, adding electricity, adding any type of insulation that was not installed by Affordable Metal Carports, adding cement inside the structure, or any modifications made to the structure that is not on the contract **WILL VOID ANY WARRANTY THAT WAS GIVEN BY AFFORDABLE METAL CARPORTS.**

_____ In Affordable Metal Carports we offer an option called **"Double Support End-walls"**. Double Support End-walls are the end wall(s) of the structure fully enclosed with square tubing welded on the end wall(s) spaced within 4ft or more, in either ladder formation or double leg formation and anchored on the installation surface. Affordable Metal Carports strongly recommend any structures that are 12ft or taller and have end wall(s) fully enclosed, must get their end wall(s) double supported, by doing the double supported end wall(s) it will reduce the swaying motion of the structure's end wall(s). If the general contractor does not wish to do the double support end wall(s), Affordable Metal Carports, nor the installation crew will not be responsible for the swaying motion of the structure end wall(s).

Site Specific Drawings

Site Specifications drawings are a set of drawings purchased by the general contractor apart from their contract and must be paid in full once customer agrees to the quote the third-party quote said drawings and any extra materials or labor that are needed for the structure to meet engineering requirements will be added to the contract at their final balance for the customer to pay in full. Typically, quotes take 2-5 business days to be sent to Affordable Metal Carports so quotes can be presented to clients and advise the general contractor what extra material is needed to meet their and engineer's requirements before the contract has been signed. Once the quote has been accepted it will take engineer 12-15 business days to complete set drawing and have it sealed with the correct seal for the corresponding state the general contractor is currently installing their structure in. All buildings are developed as Risk Category 1, unless requested otherwise by the general contractor. These will require site specific drawings. Any structures wider than 31ft will require Site Specific Drawings. Please note, certain areas inspectors require site specific drawings for any size structure.

Standard Units

All Structures are available in 14-gauge (2 ½ x 2 ½) or 12-gauge (2 ¼ x 2 ¼) square tubing framework. The 14 gauge is our standard material for all jobs but can be upgraded to the 12 gauge for additional cost. Moreover, all structures typically carry 29-gauge or 26-gauge AG panels. AG panels 29-gauge is our standard but can be upgraded to the AG Panel 26-gauge for an additional cost. In some cases, we also carry 26-gauge R panel as well for upgraded cost well for the same 20-year warranty.

Affordable Metal Carports strongly recommends buildings with roof lengths longer than 36 foot to be vertical roofs to avoid possible leaks and or rust in between seams.

Frame lengths are as follows:

- Roof Length is 21ft = 20ft base rail length,
- Roof Length 26 ft = 25ft base rail length,
- Roof Length 31 ft = 30 ft base rail length and so on.

Cement pad must match base rail length **NOT** roof length.

Standard (Non-certified) Units

The standard unit is built according to the manufacturer's specifications and industry standards but will not be available for a building permit in certain areas.

Certified Units

Certified units are built according to engineer specifications and engineer blueprint/drawings. Please note, any buildings that are not wider than 26ft will need to purchase the certification for their building, otherwise the building will be built standard not engineered specified. In accordance with this order any certified structures under 24ft wide will receive mobile anchors (storm anchors or asphalt anchors) to meet engineering requirements. If a certified structure is 25ft or wider, an additional purchase of mobile home anchors is recommended. Every certified structure will have an anchor in each leg position. Please note that this also applies to customers in certain areas inspectors require site specific drawings.

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Anchor system

All units are secured with the correct anchors that will pass through the base rail of the frame and into the ground concrete, asphalt, etc. The base rail is axed only to the installation surface with those anchors and the Buyer is aware of and understands and agrees that he/she may experience water leakage under the base rail if the installed surface is bigger than the structure itself.

The parties attest that this agreement is the complete and exclusive statement of the agreement between the parties and supersedes all prior written or oral agreements, communications, or representations relating to the subject matter of this agreement. The terms of this agreement, save and accept the price term in the event of a pricing error/change order, may be modified or amended by a written instrument executed by the parties hereto.

Pricing Table (For Internal Use): - Default Region

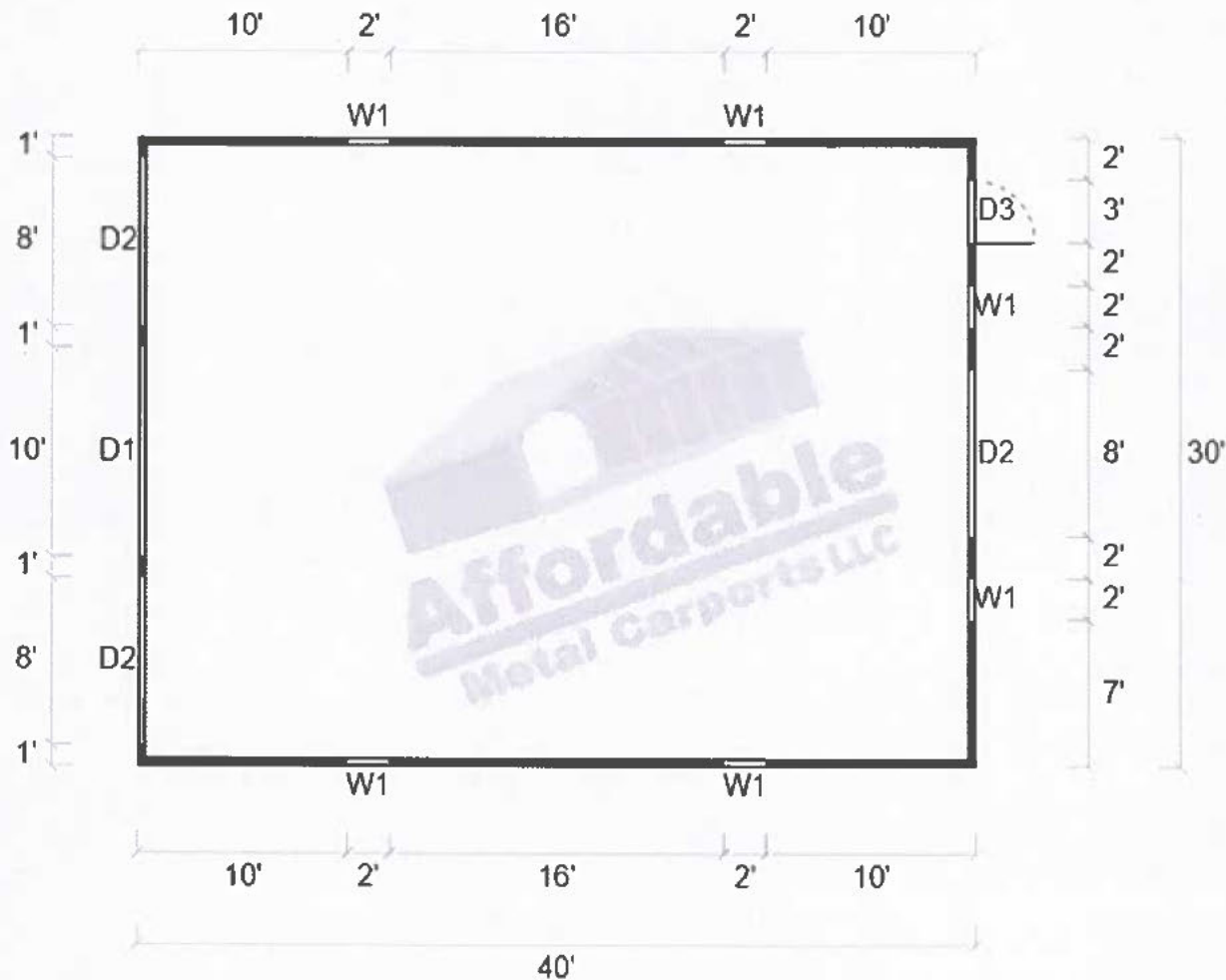
This estimate is provided by Affordable Metal Carports. Use of this estimate with any other company violates the terms and conditions of Affordable Metal Carports and will be subject to legal action.



Affordable Metal Carports
9106 US 69
Pollock, TX, 75969
(936) 853-2018
sales.amcllc2020@gmail.com

#1712842581486438

FLOOR PLAN



SYMBOL LEGEND			
D1	10x10 Rollup Door	D2	8x8 Rollup Door
W1	24W x 36H Window	D3	Walk-in Door (36x80)
		Closed Wall	

#1712842581486438



STRUCTURAL DESIGN

ENCLOSED BUILDING

**MAXIMUM 30'-0" WIDE X 16'- 0" EAVE HEIGHT-
BOX EAVE FRAME AND BOW FRAME**

17 July 2023

Revision 2

M&A Project No. 21195S/23113S

Prepared for:

Affordable Metal Carports, LLC

9106 US-69 N

Pollok, TX 75969

Prepared by:

Moore and Associates Engineering and Consulting, Inc.

1009 East Avenue

North Augusta, SC 29841

401 S. Main Street, Suite 200

Mount Airy, NC 27030



Validity Notice

Plans Expiration Date: 17 July 2024

Plans are valid for one year from issuance date

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			<u>Validity Notice</u> <u>Plans Expiration Date:</u> <u>17 July 2024</u>

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DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: JRP

CLIENT: AMC

AFFORDABLE METAL CARPORTS, LLC
9106 US-69 N
POLLOCK, TX 75969
30'-0" x 16'-0" ENCLOSED STRUCTURE

DATE: 7-17-23

SHT. 1

SCALE: NTS

DWG. NO: SK-3

JOB NO:
210988/220133

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SHEET 2	DRAWING INDEX
SHEET 3	INSTALLATION NOTES AND SPECIFICATIONS
SHEET 3A	LIST OF APPLICABLE BUILDING CODES
SHEET 4	TYPICAL SIDE AND END ELEVATIONS
SHEET 5	TYPICAL RAFTER/COLUMN FRAME AND SIDE FRAMING SECTION (BOX EAVE RAFTER)
SHEET 5A	TYPICAL RAFTER/COLUMN FRAME AND SIDE FRAMING SECTION (BOX EAVE RAFTER)
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SHEET 9	BASE RAIL ANCHORAGE OPTIONS
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SHEET 17	BOX EAVE RAFTER VERTICAL ROOF/SIDING OPTION
SHEET 18	SIDE WALL AND END WALL HEADER OPTIONS

Validity Notice

Plans Expiration Date:

17 July 2024

**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: JRP

CLIENT: ANC

AFFORDABLE METAL CARPORTS, LLC
9106 US-69 N
POLLOCK, TX 75969
30'-0"x16'-0" ENCLOSED STRUCTURE

DATE: 7-17-23

SHT. 2

SCALE: NTS

DWG. NO: SK-3

**JOB NO:
P1995/231135**

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INSTALLATION NOTES AND SPECIFICATIONS

1. DESIGN IS FOR MAXIMUM 30'-0" WIDE x 16'-0" EAVE HEIGHT ENCLOSED STRUCTURES.
 2. DESIGN WAS DONE IN ACCORDANCE WITH ALL APPLICABLE BUILDING CODES LISTED ON SHEET 3A.
 3. DESIGN LOADS ARE AS FOLLOWS:
 - A) ROOF DEAD LOADS:
 - SELF-WEIGHT = 1.5 PSF
 - MEP = 0 PSF
 - COLLATERAL = 0 PSF
 - B) ROOF LIVE LOAD = 12 PSF
 - C) FLOOR LIVE LOAD = 100 PSF (4" CONCRETE SLAB-ON-GRADE)
 - D) GROUND SNOW LOAD = 35 PSF
= 20 PSF WITH U-CHANNEL PEAK BRACE (W ≤ 16'-0")
- NOTE: UNBALANCED LOADING DUE TO SNOW DRIFT/SLIDING FROM AN ADJACENT TALLER STRUCTURE HAS NOT BEEN EVALUATED. DROP-DOWN LEAN-TO'S (THOSE CAUSING A HEIGHT DIFFERENTIAL FROM THE MAIN STRUCTURE) SHALL BE LIMITED TO GROUND SNOW LOADS ≤ 15 PSF.
4. 3-SECOND GUST ULTIMATE WIND SPEED (V_{ULT}) ≤ 160 MPH (NOMINAL WIND SPEED ≤ 124 MPH).
 5. MAXIMUM RAFTER/COLUMN AND END COLUMN SPACING = 5.0 FEET (UNLESS NOTED OTHERWISE).
 6. ENDWALL COLUMNS (COLUMNS) AND SIDE WALL COLUMNS ARE EQUIVALENT IN SIZE AND SPACING (UNLESS NOTED OTHERWISE).
 7. RISK CATEGORY I (NOT FOR HUMAN OCCUPANCY).
 8. WIND EXPOSURE CATEGORY B/C.
 9. SPECIFICATIONS APPLICABLE TO 29 GAUGE METAL PANELS FASTENED DIRECTLY TO 2 1/2" x 2 1/2" - 14 GAUGE TUBE STEEL (TS) FRAMING MEMBERS (UNLESS NOTED OTHERWISE). 2 1/4" x 2 1/4" - 12 GAUGE TS MAY BE USED AS OPTIONAL FRAMING MEMBERS.
 10. ROOF PANELING SHALL BE VERTICALLY ORIENTED FOR GROUND SNOW LOADS > 30 PSF, WIND SPEEDS > 145 MPH FOR EXPOSURE B AND ALL EXPOSURE C SCENARIOS. WALL PANELING SHALL BE VERTICALLY ORIENTED FOR WIND SPEEDS > 150 MPH.
 11. CONNECTOR SLEEVES ARE MINIMUM 6' LONG, 2 1/4"x2 1/4"-14 GAUGE TUBE STEEL (TS) FRAMING MEMBERS (UNLESS NOTED OTHERWISE).
 12. STRUCTURAL ANALYSIS/DESIGN IS BASED ON TS MEETING THE REQUIREMENTS OF ASTM A653 GRADE 50 WITH MINIMUM YIELD STRENGTH (FY) OF 54 KSI AND GALVANIZING MEETING THE REQUIREMENTS OF G60.
 13. AVERAGE PANEL FASTENER SPACING ON-CENTERS = 10 INCHES.
 14. FASTENERS CONSIST OF #12-14x3/4" SELF-DRILLING FASTENER (SDF), USE CONTROL SEAL WASHER WITH EXTERIOR FASTENERS. SPECIFICATIONS APPLICABLE ONLY FOR MEAN ROOF HEIGHT OF 16 FEET OR LESS, AND ROOF SLOPES OF 14" (3:12 PITCH) OR LESS. SPACING REQUIREMENTS FOR OTHER ROOF HEIGHTS AND/OR SLOPES MAY VARY. ROOF SLOPES LESS THAN 3:12 REQUIRE USE OF JOINT SEALANT.
 15. GROUND ANCHORS SHALL BE INSTALLED THROUGH BASE RAIL WITHIN 6' OF EVERY COLUMN.
 16. STANDARD GROUND ANCHORS (SOIL NAILS) CONSIST OF #4 REBAR W/ WELDED NUT x 36" LONG AND MAY BE USED IN SUITABLE SOILS FOR WIND SPEEDS ≤ 145 MPH. OPTIONAL ANCHORAGE MAY BE USED IN SUITABLE SOILS AND MUST BE USED IN UNSUITABLE SOILS AND FOR WIND SPEEDS > 145 MPH.
 17. WIND FORCES GOVERN OVER SEISMIC FORCES. SEISMIC PARAMETERS ANALYZED ARE:
 - SOIL SITE CLASS = D
 - RISK CATEGORY I
 - R = 3.25 $I_E = 1.0$
 - $S_{DS} = 2.625 g$ $V = C_S W$
 - $S_{M1} = 2.13 g$
 18. CONTRACTOR TO PROVIDE ADEQUATE BRACING FOR STRUCTURE SO THAT IT WILL BE STABLE DURING ALL STAGES OF CONSTRUCTION. THE STRUCTURE AND FOUNDATION ARE DESIGNED FOR A COMPLETED CONDITION ONLY AND, THEREFORE, REQUIRE ADDITIONAL SUPPORT TO MAINTAIN STABILITY BEFORE COMPLETION.
 19. IF MORE THAN 50% OF COLUMNS (LEGS) ARE REMOVED IN ANY LONGITUDINAL (SIDE) WALLS OF A BUILDING, THE ENGINEER IS TO BE NOTIFIED TO DETERMINE WHETHER PORTAL FRAMES OR OTHER LONGITUDINAL STABILITY ELEMENTS WILL BE REQUIRED.
 20. ANALYSIS/DESIGN OF THIS STRUCTURE WAS BASED ON THE LOADS, BUILDING CODE, AND STRUCTURAL GEOMETRY NOTED HEREIN. NO CHANGES SHALL BE MADE TO THE STRUCTURE WITHOUT EXPRESS WRITTEN PERMISSION FROM THE DESIGN ENGINEER. ANY CHANGES IN THE USE OR GEOMETRY OF THE STRUCTURE IN ANY MANNER IS A VIOLATION OF THE BUILDING CODE AND NEGATES ANY LIABILITY ON THE PART OF MOORE AND ASSOCIATES ENGINEERING AND CONSULTING, INC.
 21. THIS MASTER DESIGN IS A GENERIC MASTER DESIGN PRIMARILY INTENDED FOR PLANT FABRICATION AND ERECTION AHEAD TO SHOP DRAWINGS. THE MASTER DESIGN IS NOT PRIMARILY INTENDED FOR CONSTRUCTION PERMIT. WHEN APPLYING FOR BUILDING PERMIT, THE CERTIFIED BUILDING OFFICIAL MUST BE CONSULTED TO VERIFY WHETHER THE USE OF THE MASTER DESIGN IS ADEQUATE OR IF A SITE-SPECIFIC DESIGN IS REQUIRED FOR BUILDING PERMIT. ANY VARIATION FROM THE ANALYSIS/DESIGN PARAMETERS OF THE MASTER DESIGN REQUIRES THE DEVELOPMENT OF A SITE-SPECIFIC DESIGN.

Validity Notice

Plans Expiration Date:

17 July 2024

MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: JRP

CLIENT: AMC

AFFORDABLE METAL CARPORTS, LLC
9106 US-69 N
POLLOCK, TX 75969
30'-0"x16'-0" ENCLOSED STRUCTURE

DATE: 7-17-23

SHT. 3

SCALE: NTS

DWG. NO: SK-3

JOB NO.
211955/231135

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LIST OF APPLICABLE BUILDING CODES

2021 INTERNATIONAL BUILDING CODE (IBC 2021)

2018 INTERNATIONAL BUILDING CODE (IBC 2018)

2015 INTERNATIONAL BUILDING CODE (IBC 2015)

2012 INTERNATIONAL BUILDING CODE (IBC 2012)

2009 INTERNATIONAL BUILDING CODE (IBC 2009)

2006 INTERNATIONAL BUILDING CODE (IBC 2006)

ARKANSAS BUILDING CODE 2021
(ADOPTS THE IBC 2021 WITH AMENDMENTS)

LOUISIANA BUILDING CODE 2021
(ADOPTS THE IBC 2021 WITH AMENDMENTS)

MISSISSIPPI BUILDING CODE 2018
(ADOPTS THE IBC 2018 WITHOUT AMENDMENTS)
(IBC 2012, IBC 2015 AND IBC 2018
(DEPENDENT UPON LOCAL JURISDICTION))

OKLAHOMA BUILDING CODE 2018
(ADOPTS THE IBC 2018 WITH AMENDMENTS)

BUILDING CODE OF THE TEXAS INDUSTRIALIZED
HOUSING AND BUILDINGS PROGRAM
(ADOPTS THE IBC 2015 WITH AMENDMENTS)
AUSTIN BUILDING CODE 2021
(ADOPTS THE IBC 2021 WITH AMENDMENTS)
DALLAS BUILDING CODE 2021
(ADOPTS THE IBC 2021 WITH AMENDMENTS)
FORT WORTH BUILDING CODE 2021
(ADOPTS THE IBC 2021 WITH AMENDMENTS)
HOUSTON BUILDING CODE 2015
(ADOPTS THE IBC 2015 WITH AMENDMENTS)
SAN ANTONIO BUILDING CODE 2021
(ADOPTS THE IBC 2021 WITH AMENDMENTS)
(IBC 2006, IBC 2009, IBC 2012, IBC 2015, IBC 2018,
IBC 2021 (DEPENDENT UPON LOCAL JURISDICTION))

Validity Notice

Plans Expiration Date:

17 July 2024

**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: JRP

CLIENT: ANC

AFFORDABLE METAL CARPORTS, LLC
9106 US-69 N
POLLOCK, TX 75969
30'-0" x 16'-0" ENCLOSED STRUCTURE

DATE: 7-17-23

SCALE: NTS

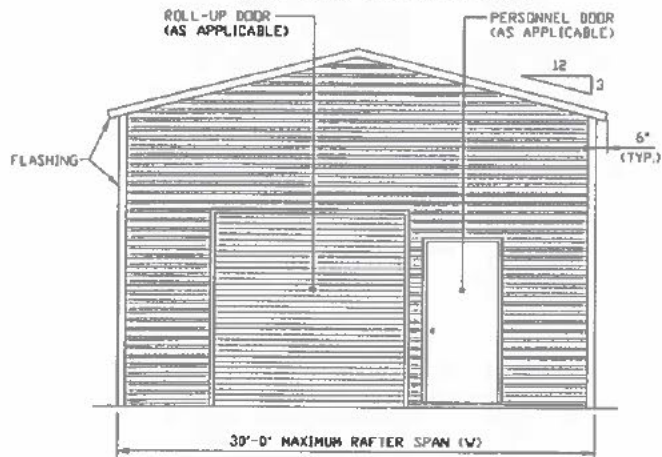
SHT. 3A

DWG. NO: SK-3

**JOB NO:
211933/231135**

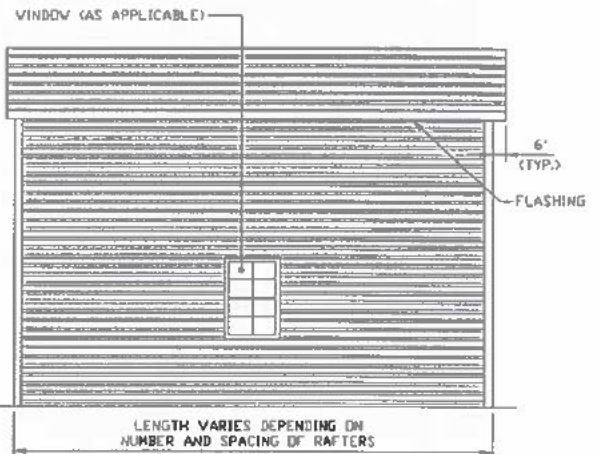
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BOX EAVE FRAME RAFTER STRUCTURE



TYPICAL END ELEVATION

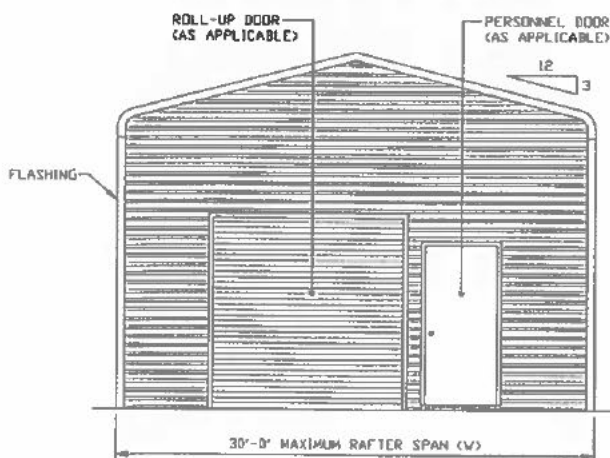
SCALE: NTS



TYPICAL SIDE ELEVATION

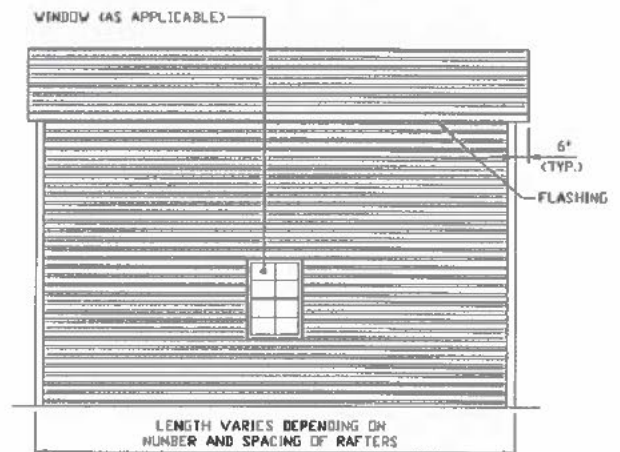
SCALE: NTS

BDW EAVE FRAME RAFTER STRUCTURE



TYPICAL END ELEVATION

SCALE: NTS



TYPICAL SIDE ELEVATION

SCALE: NTS

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CLIENT: AMC

AFFORDABLE METAL CARPORTS, LLC
9106 US-69 N
POLLOCK, TX 75969
30'-0"X16'-0" ENCLOSED STRUCTURE

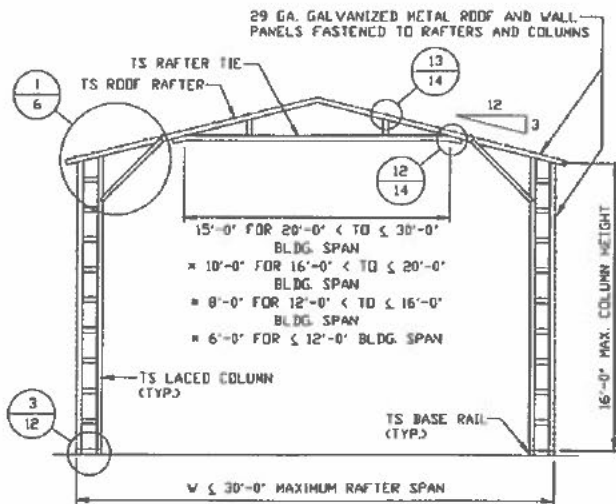
DATE: 7-17-23

SHT. 4

SCALE: NTS

DWG. NO. SK-3

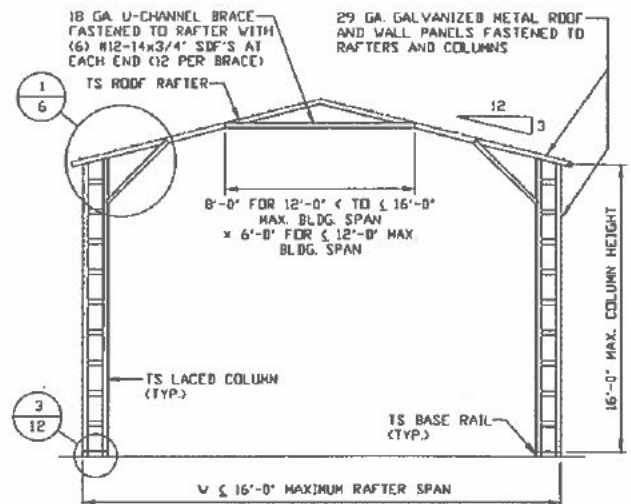
**JOB NO.
211933/231135**



TYPICAL RAFTER/COLUMN FRAME SECTION

SCALE: NTS

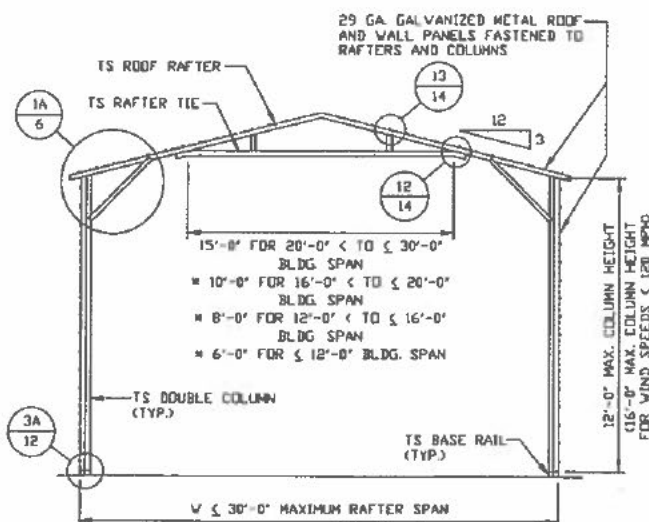
* NOTE: VERTICAL STRUTS NOT REQUIRED FOR THESE TIE LENGTHS.



TYPICAL RAFTER/COLUMN FRAME SECTION

SCALE: NTS

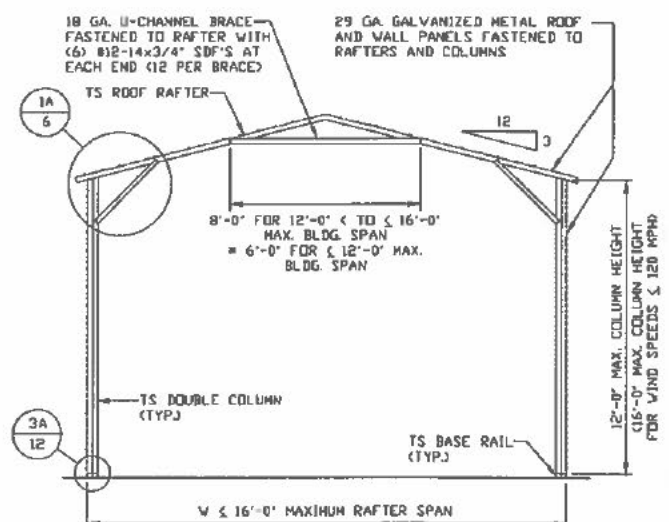
* NOTE: VERTICAL STRUTS NOT REQUIRED FOR THESE TIE LENGTHS.



TYPICAL RAFTER/COLUMN FRAME SECTION

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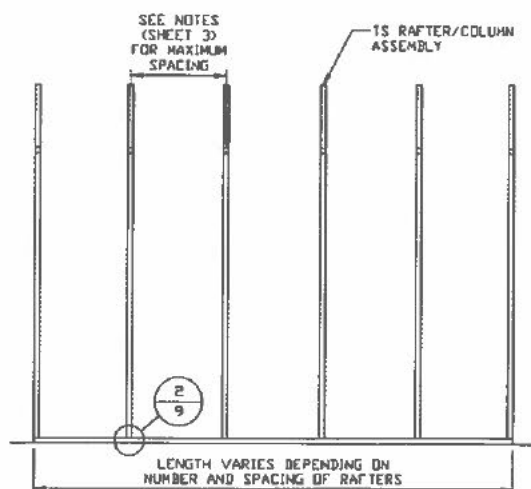
* NOTE: VERTICAL STRUTS NOT REQUIRED FOR THESE TIE LENGTHS.



TYPICAL RAFTER/COLUMN FRAME SECTION

SCALE: NTS

* NOTE: VERTICAL STRUTS NOT REQUIRED FOR THESE TIE LENGTHS.



TYPICAL RAFTER/COLUMN SIDE FRAMING SECTION

SCALE: NTS

Validity Notice

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17 July 2024

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PROJECT MGR: JRP

CLIENT: ANC

**AFFORDABLE METAL CARPORTS, LLC
9106 US-69 N
POLLOCK, TX 75969
30'-0"x16'-0" ENCLOSED STRUCTURE**

DATE: 7-17-23

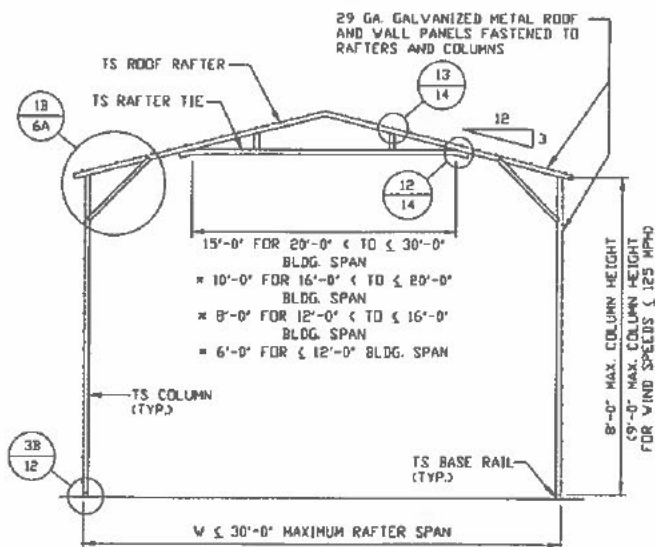
SHT. 5

SCALE: NTS

DWG. NO: SK-3

**JOB NO:
201909/201935**

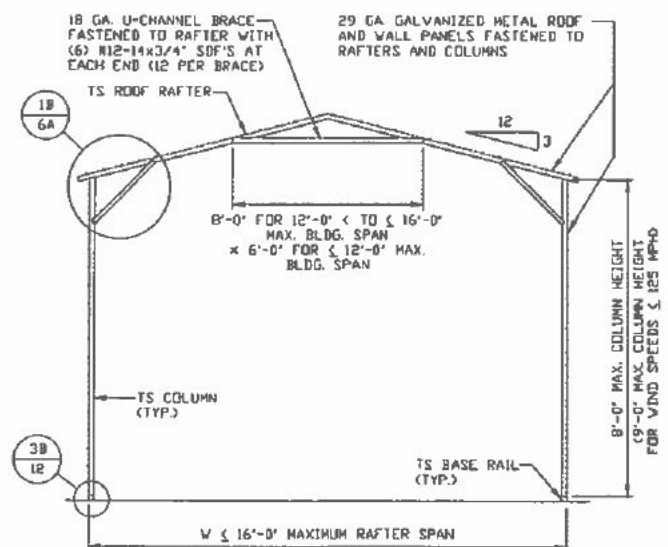
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TYPICAL RAFTER/COLUMN FRAME SECTION

SCALE: NTS

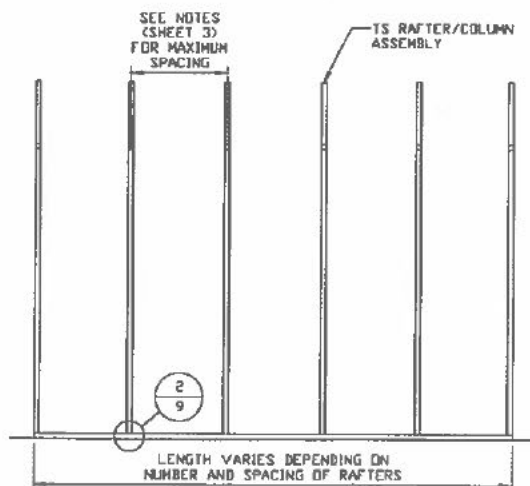
* NOTE: VERTICAL STRUTS NOT REQUIRED FOR THESE TIE LENGTHS.



TYPICAL RAFTER/COLUMN FRAME SECTION

SCALE: NTS

* NOTE: VERTICAL STRUTS NOT REQUIRED FOR THESE TIE LENGTHS.



TYPICAL RAFTER/COLUMN SIDE FRAMING SECTION

SCALE: NTS

Validity Notice

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17 July 2024

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ENGINEERING AND CONSULTING, INC.**

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**AFFORDABLE METAL CARPORTS, LLC
9106 US-69 N
POLLOCK, TX 75969
30'-0"X16'-0" ENCLOSED STRUCTURE**

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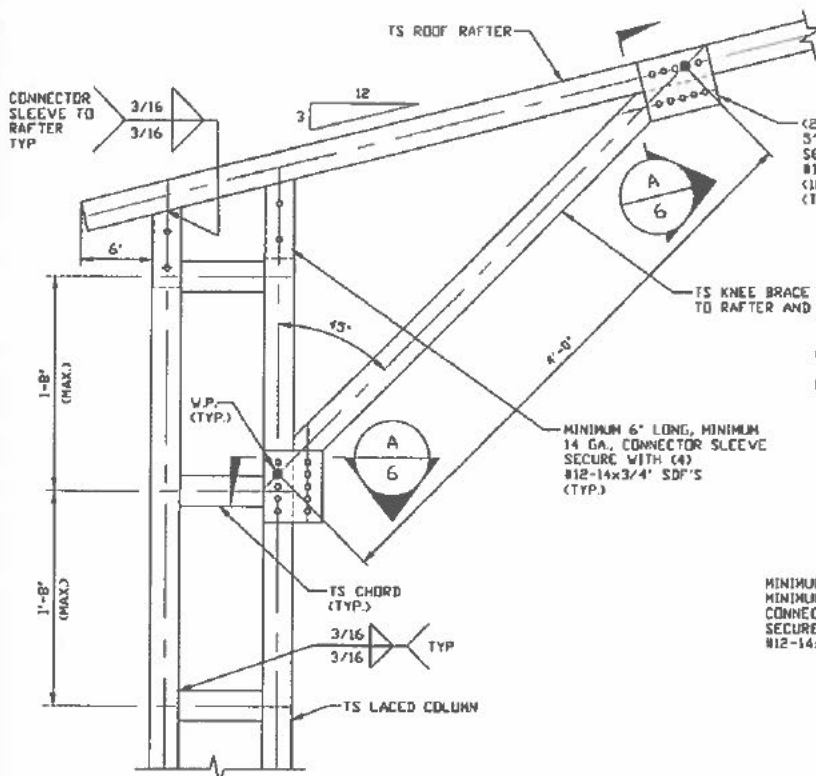
SHT. 5A

SCALE: NTS

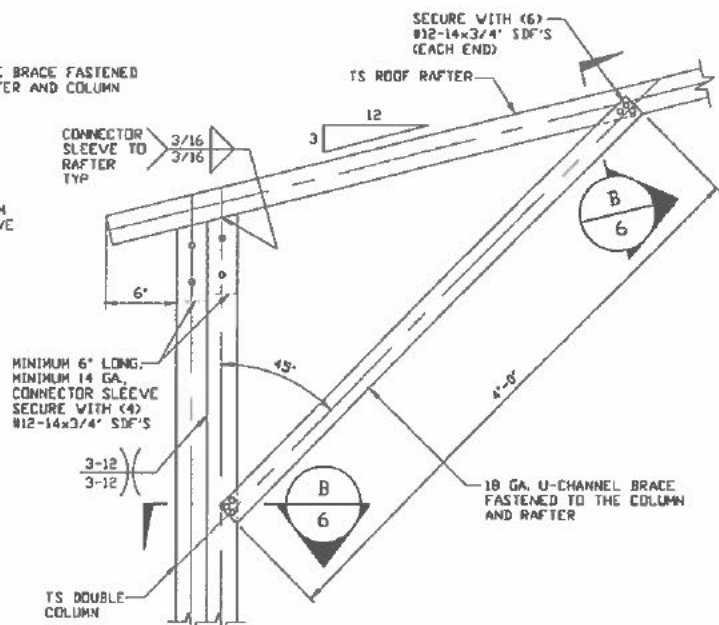
DWG. NO. SK-3

**JOB NO.
21055/230135**

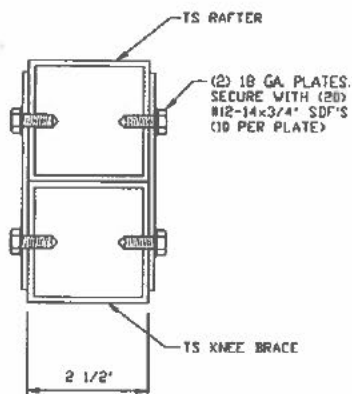
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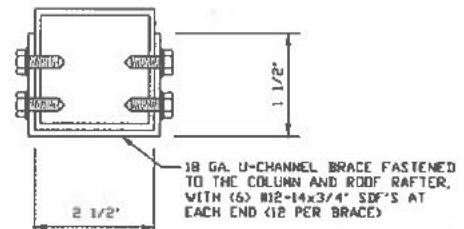
1 BOX EAVE RAFTER/CORNER COLUMN
CONNECTION DETAIL
FOR HEIGHTS 12'-0" < TO ≤ 16'-0"
SCALE: NTS



1A BOX EAVE RAFTER/CORNER COLUMN
CONNECTION DETAIL
FOR HEIGHTS 8'-0" < TO ≤ 12'-0"
SCALE: NTS
NOTE: MAXIMUM COLUMN HEIGHT IS 16'-0" FOR
WIND SPEEDS ≤ 120 MPH.



A BRACE SECTION
SCALE: NTS



B BRACE SECTION
SCALE: NTS

Validity Notice

Plans Expiration Date:

17 July 2024

**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: LT

CHECKED BY: PMH

PROJECT MGR: JRP

CLIENT: AMC

AFFORDABLE METAL CARPORTS, LLC
9106 US-69 N
POLLOK, TX 75969
30'-0" x 16'-0" ENCLOSED STRUCTURE

DATE: 7-17-23

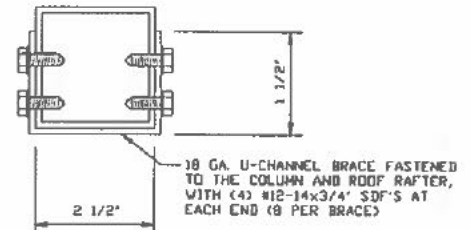
SHT. 6

SCALE: NTS

DWG. NO: SK-3

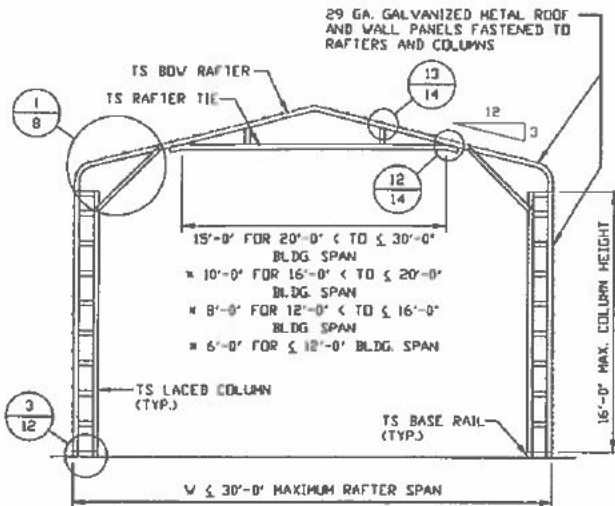
**JOB NO:
21155/21135**

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NOTE: MAXIMUM COLUMN HEIGHT IS 9'-0" FOR WIND SPEEDS $\leq$ 125 MPH.

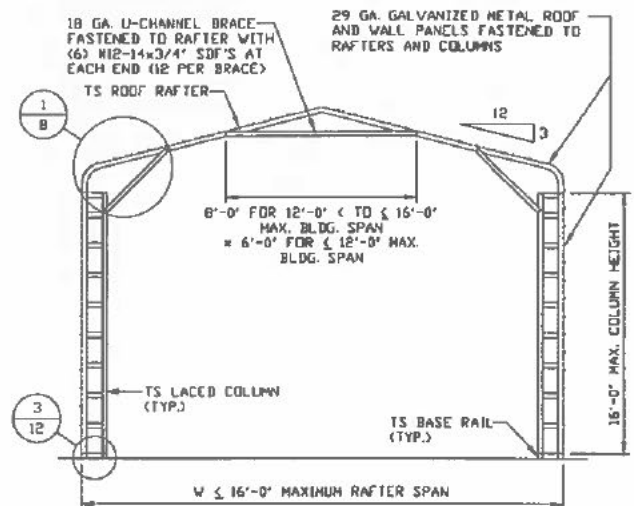
Page 31 of



TYPICAL RAFTER/COLUMN FRAME SECTION

SCALE: NTS

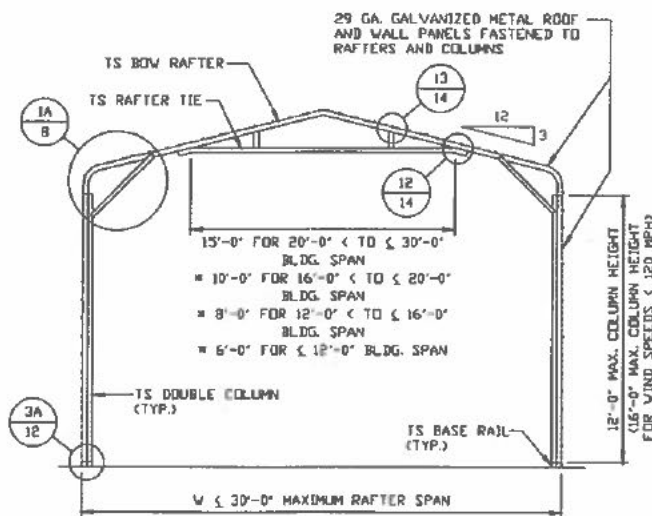
* NOTE: VERTICAL STRUTS NOT REQUIRED FOR THESE TIE LENGTHS.



TYPICAL RAFTER/COLUMN FRAME SECTION

SCALE: NTS

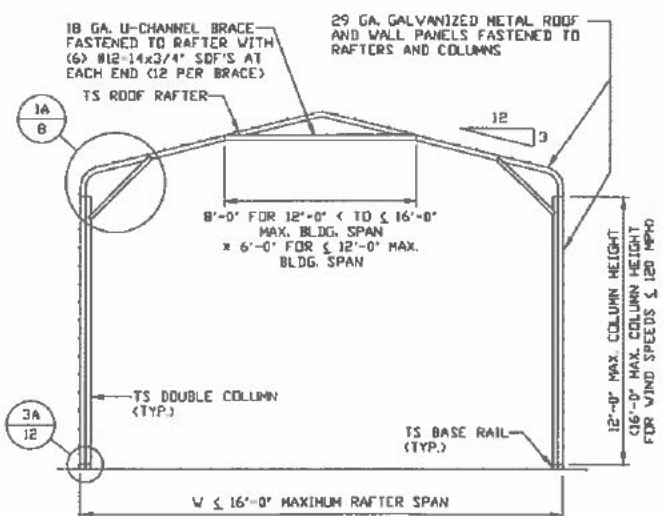
* NOTE: VERTICAL STRUTS NOT REQUIRED FOR THESE TIE LENGTHS.



TYPICAL RAFTER/COLUMN FRAME SECTION

SCALE: NTS

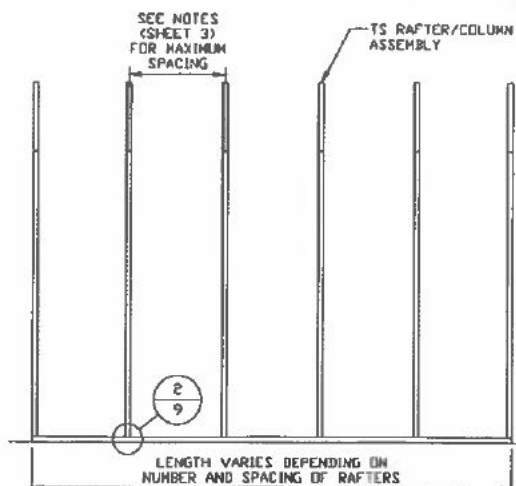
* NOTE: VERTICAL STRUTS NOT REQUIRED FOR THESE TIE LENGTHS.



TYPICAL RAFTER/COLUMN FRAME SECTION

SCALE: NTS

* NOTE: VERTICAL STRUTS NOT REQUIRED FOR THESE TIE LENGTHS.



TYPICAL RAFTER/COLUMN SIDE FRAMING SECTION

SCALE: NTS

Validity Notice

Plans Expiration Date:

17 July 2024

**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: JRP

CLIENT: ANC

**AFFORDABLE METAL CARPORTS, LLC
9106 US-69 N
POLLOCK, TX 75969
30'-0"x16'-0" ENCLOSED STRUCTURE**

DATE: 7-17-23

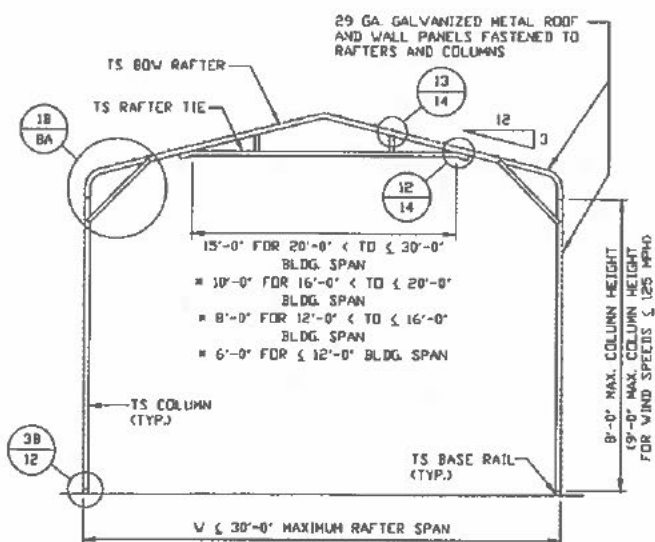
SHT. 7

SCALE: NTS

DWG. NO. SK-3

**JOB NO.
211955/231135**

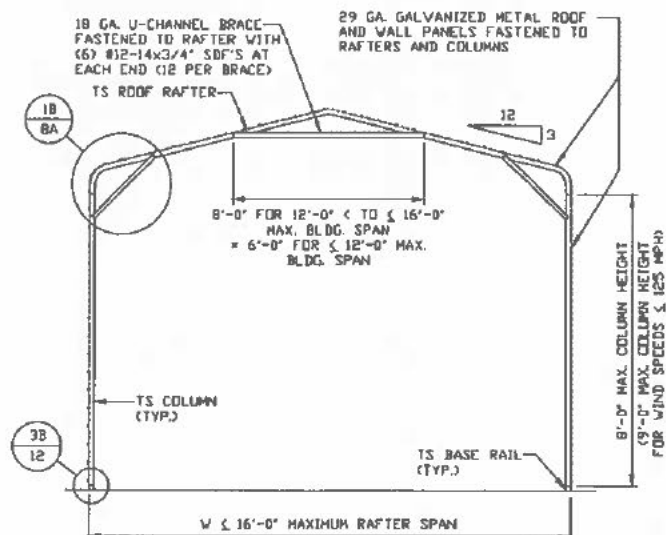
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TYPICAL RAFTER/COLUMN FRAME SECTION

SCALE: NTS

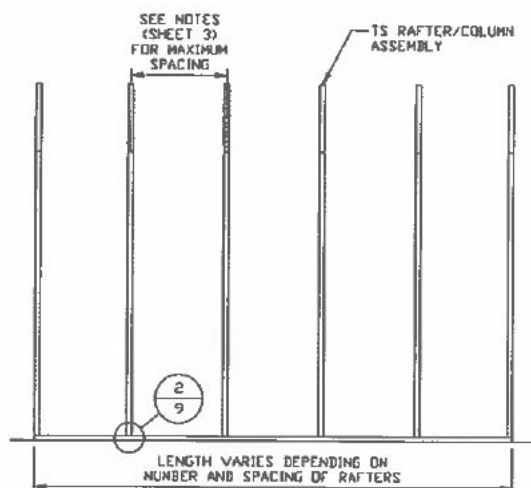
NOTE: VERTICAL STRUTS NOT REQUIRED FOR THESE TIE LENGTHS.



TYPICAL RAFTER/COLUMN FRAME SECTION

SCALE: NTS

NOTE: VERTICAL STRUTS NOT REQUIRED FOR THESE TIE LENGTHS.



TYPICAL RAFTER/COLUMN SIDE FRAMING SECTION

SCALE: NTS

Validity Notice

Plans Expiration Date:

17 July 2024

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**AFFORDABLE METAL CARPORTS, LLC
9106 US-69 N
POLLOCK, TX 75969
30'-0"x16'-0" ENCLOSED STRUCTURE**

DATE: 7-17-23

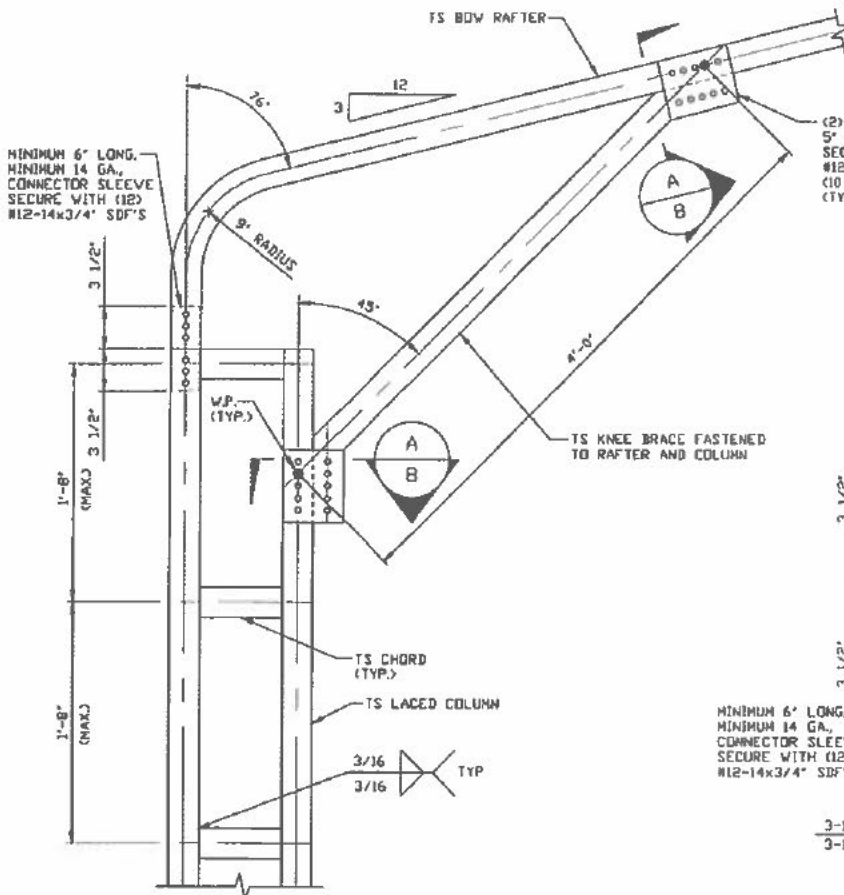
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SCALE: NTS

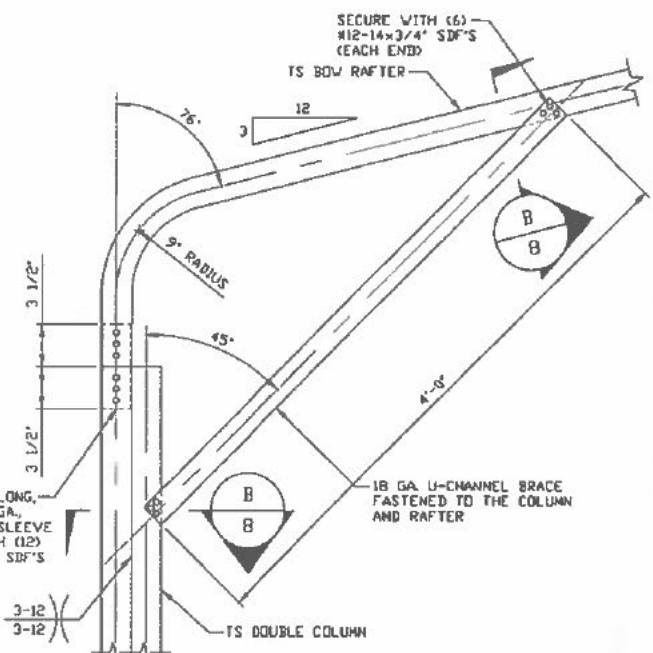
DWG. NO. SK-3

**JOB NO.
211955/231135**

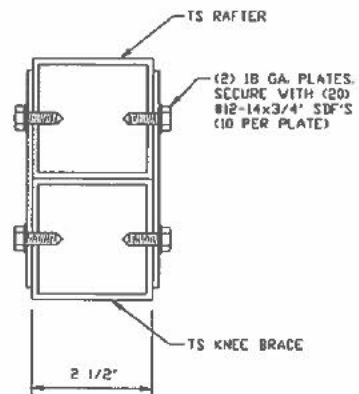
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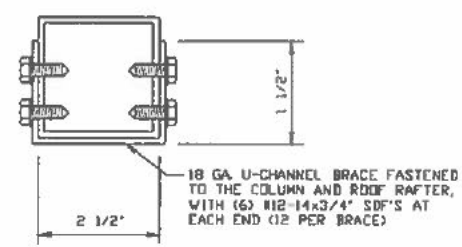
1 BOW EAVE RAFTER/CORNER COLUMN CONNECTION DETAIL
FOR HEIGHTS 12'-0" < TO ≤ 16'-0"
SCALE: NTS



1A BOW EAVE RAFTER/CORNER COLUMN CONNECTION DETAIL
FOR HEIGHTS 8'-0" < TO ≤ 12'-0"
SCALE: NTS
NOTE: MAXIMUM COLUMN HEIGHT IS 16'-0" FOR WIND SPEEDS ≤ 120 MPH.



A BRACE SECTION
SCALE: NTS



B BRACE SECTION
SCALE: NTS

Validity Notice
Plans Expiration Date:
17 July 2024

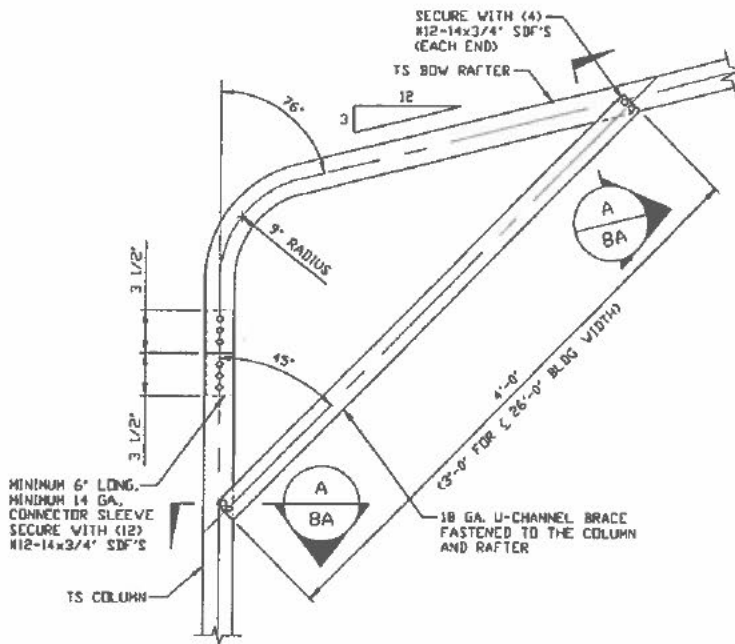
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PROJECT MGR: JRP
CLIENT: ANC

AFFORDABLE METAL CARPORTS, LLC
9106 US-69 N
POLLOK, TX 75969
30'-0" x 16'-0" ENCLOSED STRUCTURE

DATE: 7-17-23
SCALE: NTS
SHT. 8
DWG. NO: SK-3

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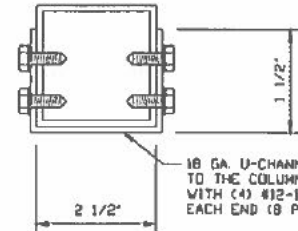


**BOW EAVE RAFTER/CORNER COLUMN
CONNECTION DETAIL
FOR HEIGHTS $\leq 8'-0"$**

1B

SCALE: NTS

NOTE: MAXIMUM COLUMN HEIGHT IS 9'-0" FOR
WIND SPEEDS ≤ 125 MPH.



A

BRACE SECTION

SCALE: NTS

Validity Notice

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SCALE: NTS

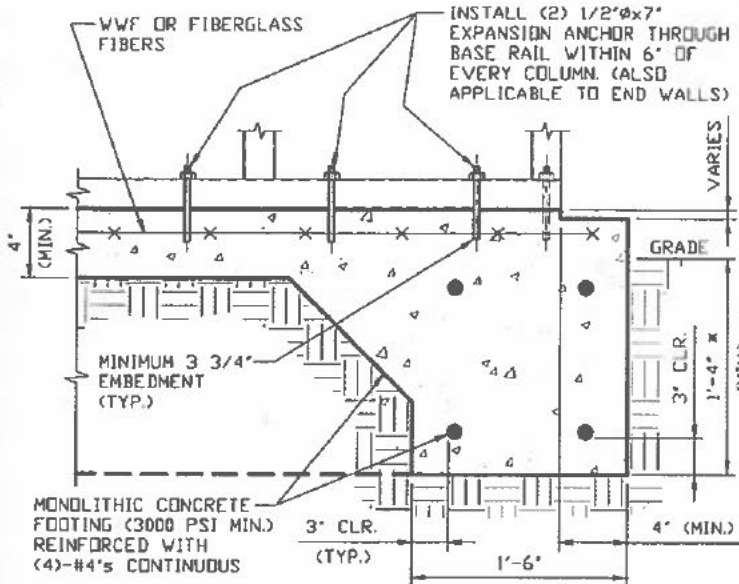
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DWG. NO: SK-3

JOB NO
211955/231135

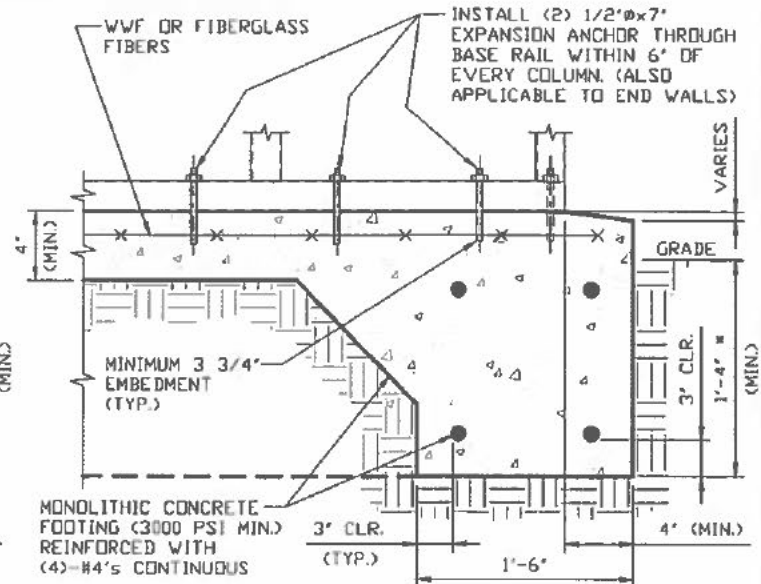
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BASE RAIL ANCHORAGE OPTIONS



CONCRETE MONOLITHIC SLAB
BASE RAIL ANCHORAGE

MINIMUM ANCHOR EDGE DISTANCE IS 4".
* COORDINATE WITH LOCAL BUILDING CODE AND/
ORD. REGARDING MINIMUM FROST DEPTH (LENGTH).



CONCRETE MONOLITHIC SLAB
BASE RAIL ANCHORAGE

* COORDINATE WITH LOCAL BUILDING CODE AND/OR ORD. REGARDING MINIMUM FROST DEPTH (LENGTH).

GENERAL NOTES

NOTE: CONCRETE MONOLITHIC SLAB DESIGN BASED ON MINIMUM
SOIL BEARING CAPACITY OF 1,500 PSF.

CONCRETE:

CONCRETE SHALL HAVE A MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS.

COVER OVER REINFORCING STEEL

FOR FOUNDATIONS, MINIMUM CONCRETE COVER OVER REINFORCING BARS SHALL BE PER ACI-318:
3' IN FOUNDATIONS WHERE THE CONCRETE IS CAST AGAINST AND PERMANENTLY IN CONTACT WITH THE EARTH OR EXPOSED TO THE EARTH OR WEATHER, AND 1 1/2' ELSEWHERE.

REINFORCING STEEL

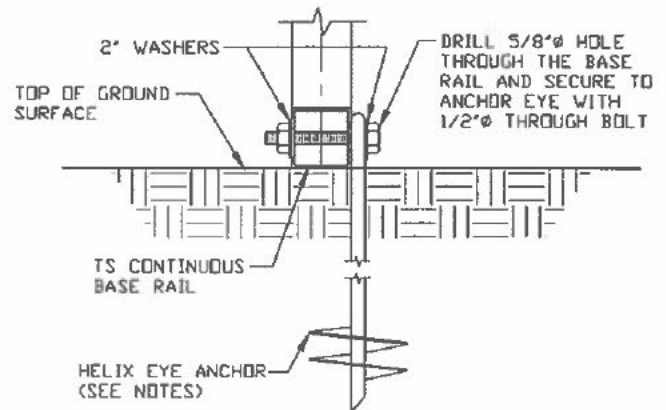
THE TURNDOWN REINFORCING STEEL SHALL BE ASTM A615 GRADE 60. THE SLAB REINFORCEMENT SHALL BE WELDED WIRE FABRIC MEETING ASTM A185 OR FIBERGLASS FIBER REINFORCEMENT.

REINFORCEMENT MAY BE BENT IN THE SHOP OR THE FIELD PROVIDED:

1. REINFORCEMENT IS BENT COLD.
2. THE DIAMETER OF THE BEND, MEASURED ON THE INSIDE OF THE BAR, IS NOT LESS THAN SIX-BAR DIAMETERS.
3. REINFORCEMENT PARTIALLY EMBEDDED IN CONCRETE SHALL NOT BE FIELD BENT.

HELIX ANCHOR NOTES:

1. FOR VERY DENSE AND/OR CEMENTED SANDS, COARSE GRAVEL AND COBBLES, CALICHE, PRELOADED SILTS AND CLAYS, USE MINIMUM (2) 4' HELICES WITH MINIMUM 30' EMBEDMENT OR SINGLE 6' HELIX WITH MINIMUM 50' EMBEDMENT
2. FOR CORAL USE MINIMUM (2) 4' HELICES WITH MINIMUM 30' EMBEDMENT OR SINGLE 6' HELIX WITH MINIMUM 50' EMBEDMENT.
3. FOR MEDIUM DENSE COARSE SANDS, SANDY GRAVELS, VERY STIFF SILTS, AND CLAYS USE MINIMUM (2) 4' HELICES WITH MINIMUM 30 INCH EMBEDMENT OR SINGLE 6' HELIX WITH MINIMUM 50' EMBEDMENT.
4. FOR LOOSE TO MEDIUM DENSE SANDS, FIRM TO STIFF CLAYS AND SILTS ALLUVIAL FILL, USE MINIMUM (2) 6' HELICES WITH MINIMUM 50' EMBEDMENT.
5. FOR VERY LOSE TO MEDIUM DENSE SANDS, FIRM TO STIFFER CLAYS AND SILTS, ALLUVIAL FILL, USE MINIMUM (2) 8' HELICES WITH MINIMUM 60' EMBEDMENT.



GROUND BASE HELIX ANCHORAGE

* COORDINATE WITH LOCAL BUILDING CODE AND/OR ORD. REGARDING MINIMUM FROST DEPTH (LENGTH).

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ENGINEERING AND CONSULTING, INC.

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PROJECT MGR: JRP

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30'-0" x 16'-0" ENCLOSED STRUCTURE

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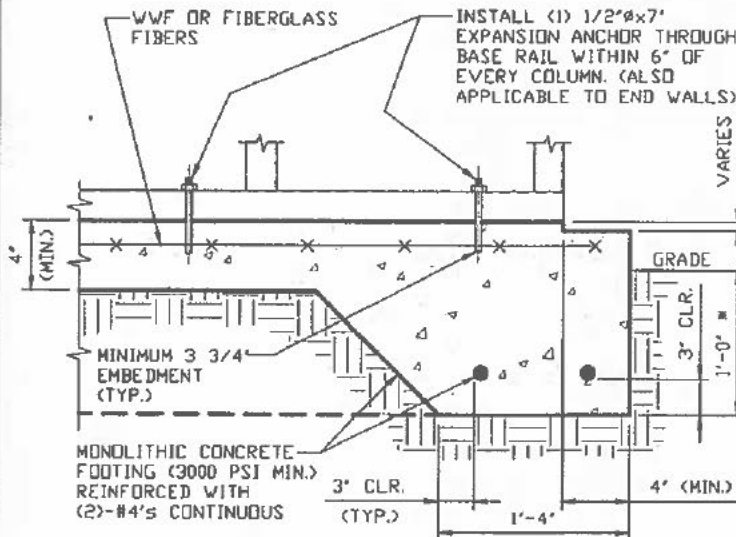
SHT. 9

SCALE: NTS

DWG. NO: SK-3

JOB NO:
211953/231135

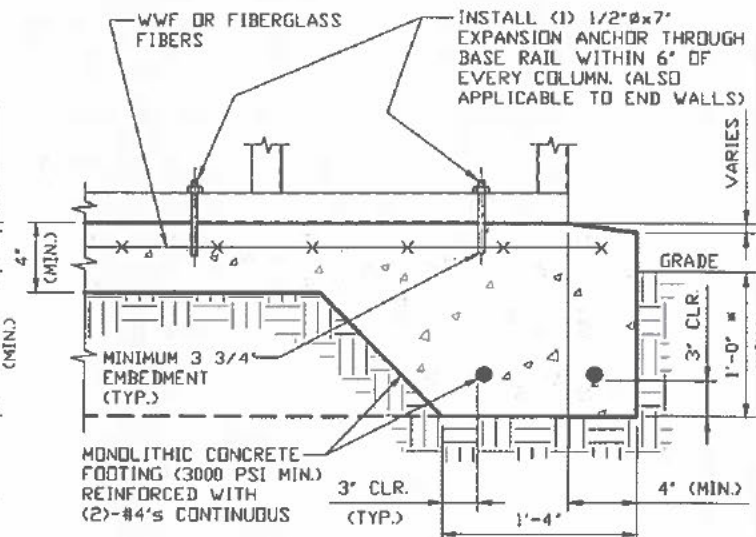
BASE RAIL ANCHORAGE OPTIONS FOR ≤ 140 MPH WIND SPEED



2C CONCRETE MONOLITHIC SLAB BASE RAIL ANCHORAGE

SCALE: NTS

MINIMUM ANCHOR EDGE DISTANCE IS 4".
* COORDINATE WITH LOCAL BUILDING CODE AND/
ORD. REGARDING MINIMUM FROST DEPTH (LENGTH).



2D CONCRETE MONOLITHIC SLAB BASE RAIL ANCHORAGE

SCALE: NTS

MINIMUM ANCHOR EDGE DISTANCE IS 4".
* COORDINATE WITH LOCAL BUILDING CODE AND/
ORD. REGARDING MINIMUM FROST DEPTH (LENGTH).

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SCALE: NTS

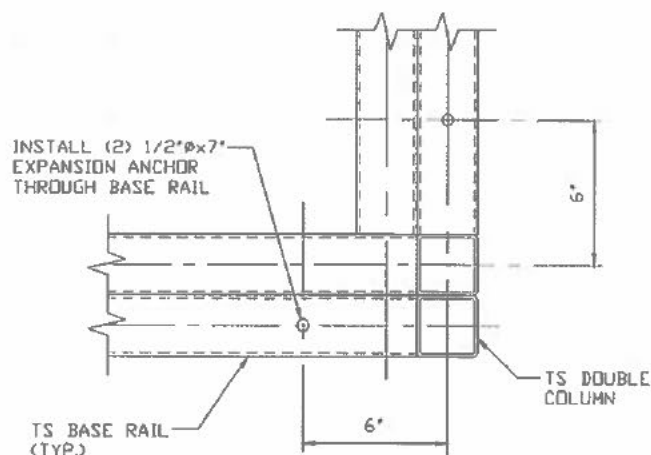
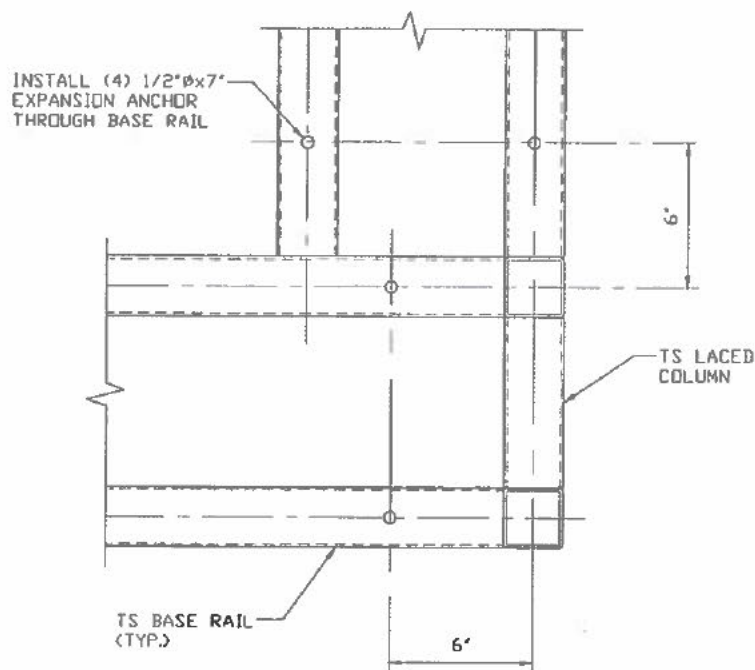
SHT. 9A

DWG. NO. SK-3

JOB NO.
211155/231125

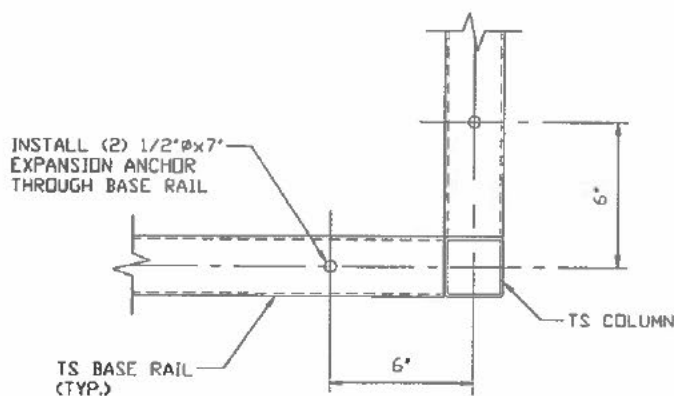
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BASE RAIL ANCHORAGE OPTIONS



CORNER COLUMN ANCHOR BOLT PLAN DETAIL
SCALE: NTS

CORNER COLUMN ANCHOR BOLT PLAN DETAIL
SCALE: NTS



CORNER COLUMN ANCHOR BOLT PLAN DETAIL
SCALE: NTS

Validity Notice

Plans Expiration Date:

17 July 2024

**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: JRP

CLIENT: AMC

AFFORDABLE METAL CARPORTS, LLC
9106 US-69 N
POLLOCK, TX 75969
30'-0" x 16'-0" ENCLOSED STRUCTURE

DATE: 7-17-23

SHT. 9B

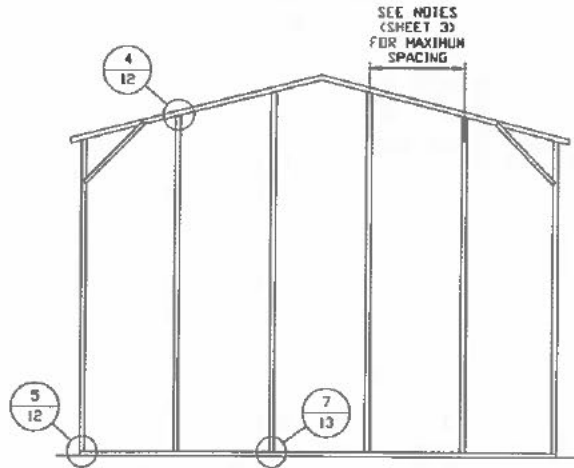
SCALE: NTS

DWG. NO. SK-3

**JOB NO.
211955/231135**

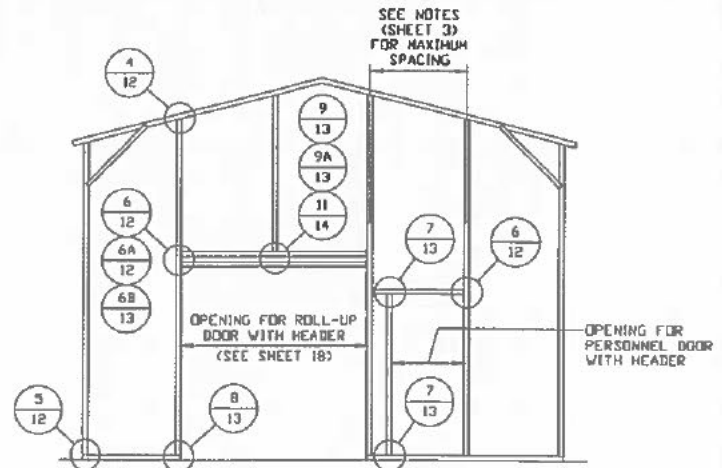
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TYPICAL END WALL AND SIDE WALL FRAMING SECTIONS (BOX EAVE RAFTER)



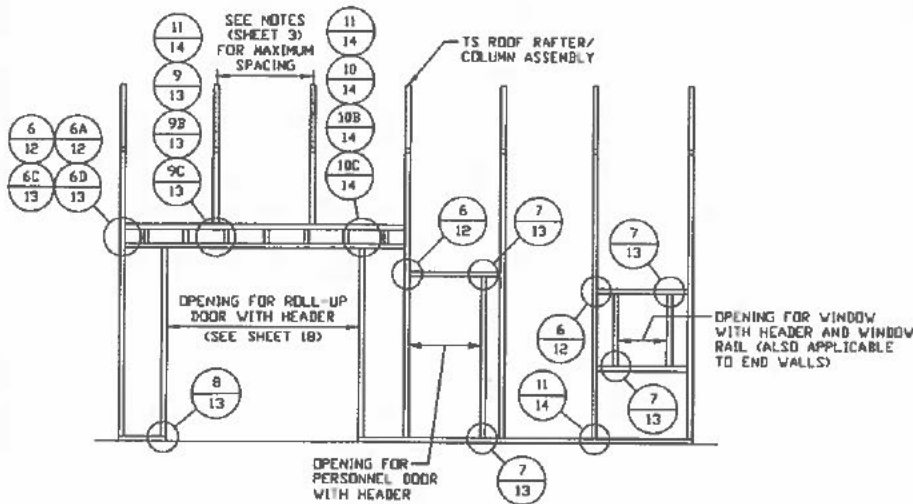
**TYPICAL BOX EAVE RAFTER
END WALL FRAMING SECTION**

SCALE: NTS



**TYPICAL BOX EAVE RAFTER END
WALL OPENINGS FRAMING SECTION**

SCALE: NTS



**TYPICAL BOX EAVE RAFTER
SIDE WALL OPENINGS FRAMING SECTION**

SCALE: NTS

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CHECKED BY: PMH

PROJECT MGR: JRP

CLIENT: ANC

AFFORDABLE METAL CARPORTS, LLC
9106 US-69 N
POLLOCK, TX 75969
30'-0"x16'-0" ENCLOSED STRUCTURE

DATE: 7-17-23

SCALE: NTS

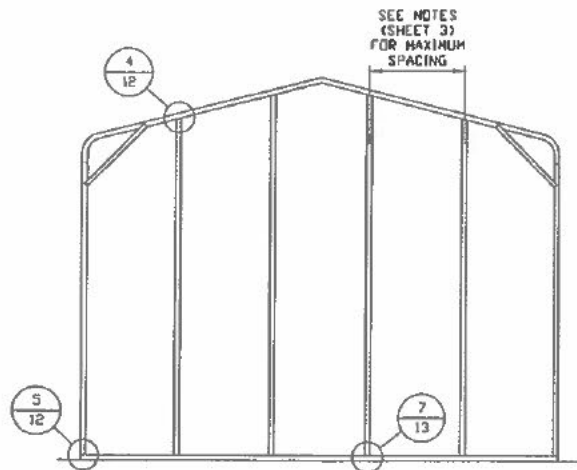
SHT. 10

DWG. NO. SK-3

**JOB NO.
211955/231135**

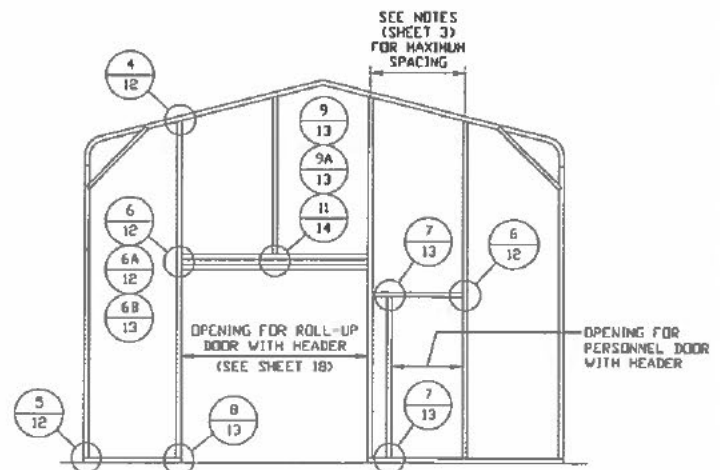
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TYPICAL END WALL AND SIDE WALL FRAMING SECTIONS (BOW EAVE RAFTER)



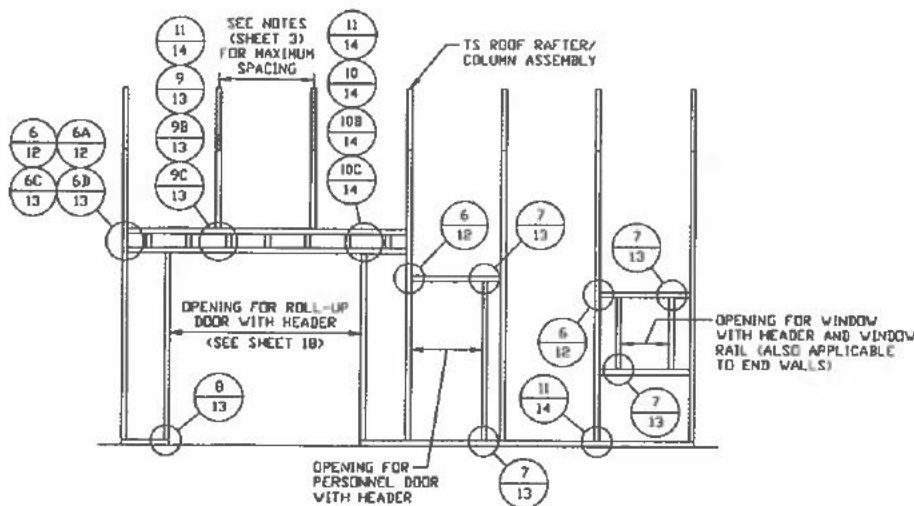
**TYPICAL BOW EAVE RAFTER
END WALL FRAMING SECTION**

SCALE: NTS



**TYPICAL BOW EAVE RAFTER END
WALL OPENINGS FRAMING SECTION**

SCALE: NTS



**TYPICAL BOW EAVE RAFTER
SIDE WALL OPENINGS FRAMING SECTION**

SCALE: NTS

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CHECKED BY: PDH

PROJECT NO: JRP

CLIENT: AMC

AFFORDABLE METAL CARPORTS, LLC
9106 US-69 N
POLLOK, TX 75969
30'-0" x 16'-0" ENCLOSED STRUCTURE

DATE: 7-17-23

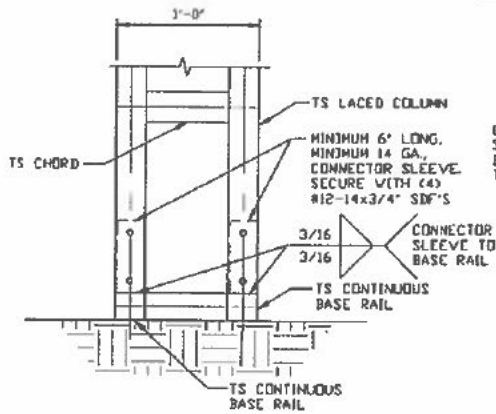
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SCALE: NTS

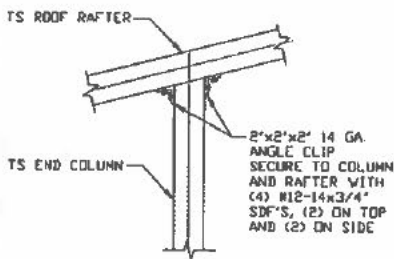
DWG. NO. SK-3

JOB NO.
211933/231133

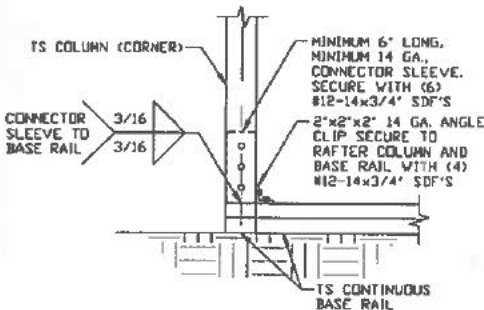
CONNECTION DETAILS



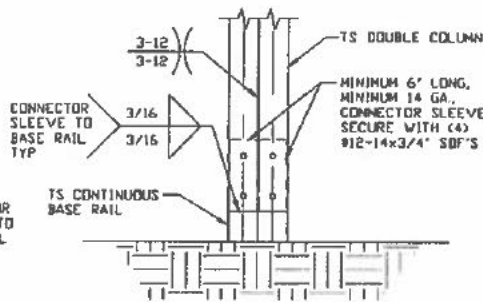
3 COLUMN/BASE RAIL
CONNECTION DETAIL
SCALE: NTS



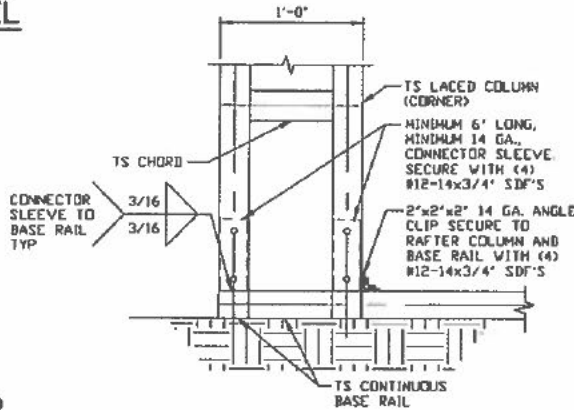
4 END COLUMN/RAFTER
CONNECTION DETAIL
SCALE: NTS



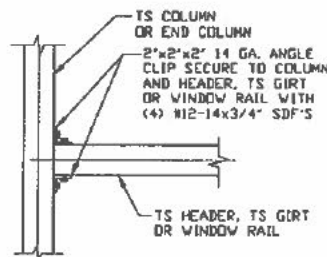
5B END COLUMN/BASE RAIL
CONNECTION DETAIL
SCALE: NTS



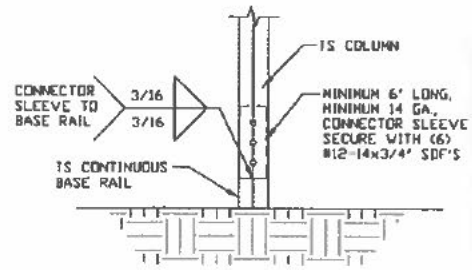
3A COLUMN/BASE RAIL
CONNECTION DETAIL
SCALE: NTS



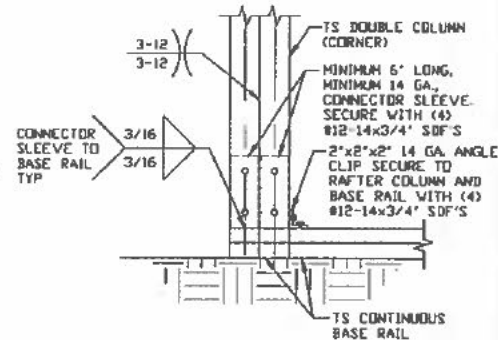
5 END COLUMN/BASE RAIL
CONNECTION DETAIL
SCALE: NTS



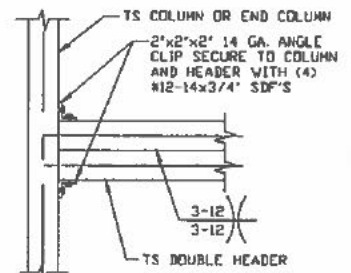
6 HEADER OR WINDOW
RAIL/WALL GIRT
TO COLUMN
CONNECTION DETAIL
SCALE: NTS



3B COLUMN/BASE RAIL
CONNECTION DETAIL
SCALE: NTS



5A END COLUMN/BASE RAIL
CONNECTION DETAIL
SCALE: NTS



6A DOUBLE HEADER
TO COLUMN
CONNECTION DETAIL
SCALE: NTS

Validity Notice

Plans Expiration Date:

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MOORE AND ASSOCIATES
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PROJECT MGR: JRP

CLIENT: AMC

AFFORDABLE METAL CARPORTS, LLC
9106 US-69 N
POLLOK, TX 75969
30'-0" x 16'-0" ENCLOSED STRUCTURE

DATE: 7-17-23

SHT. 12

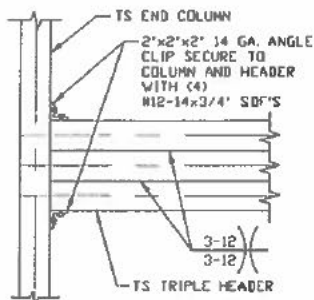
SCALE: NTS

DWG. NO. SK-3

JOB NO.
231933/231938

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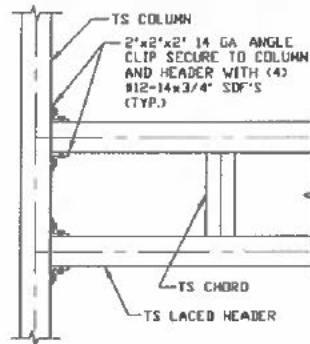
CONNECTION DETAILS



**TRIPLE HEADER
TO COLUMN
CONNECTION DETAIL**

6B

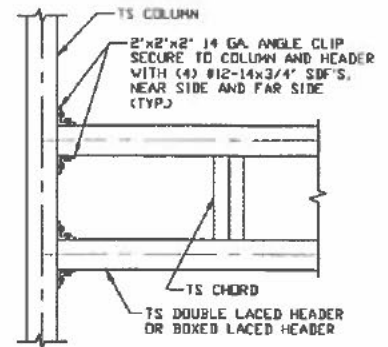
SCALE: NTS



**LACED HEADER
TO COLUMN
CONNECTION DETAIL**

6C

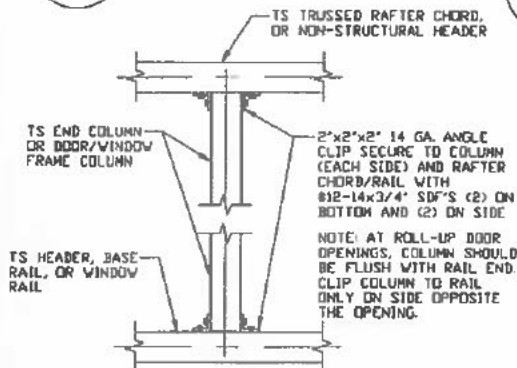
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**DOUBLE LACED HEADER
OR BOXED LACED
HEADER TO COLUMN
CONNECTION DETAIL**

6D

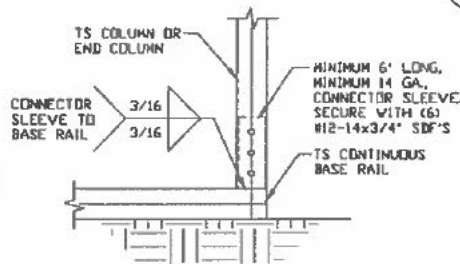
SCALE: NTS



**COLUMN TO HEADER, BASE
RAIL, OR WINDOW RAIL
CONNECTION DETAIL**

7

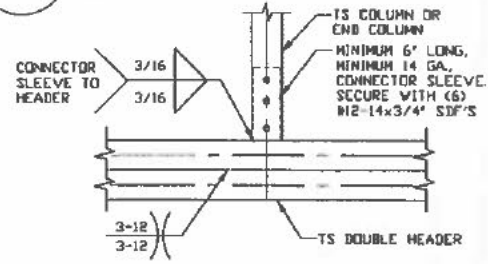
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**COLUMN/BASE RAIL
CONNECTION DETAIL**

8

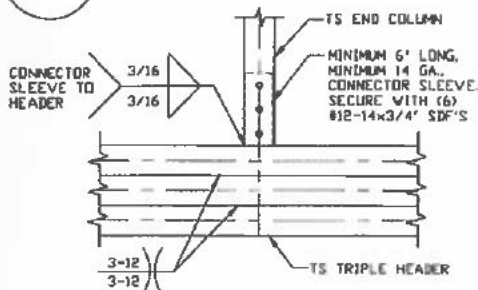
SCALE: NTS



**COLUMN/DOUBLE HEADER
CONNECTION DETAIL**

9

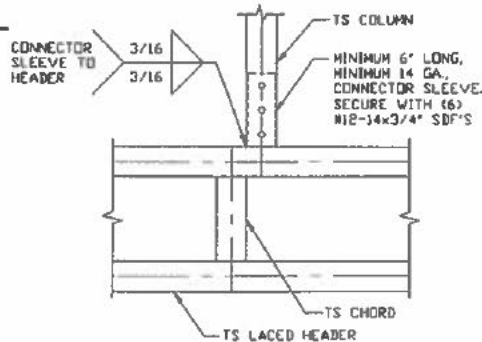
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**COLUMN/TRIPLE HEADER
CONNECTION DETAIL**

9A

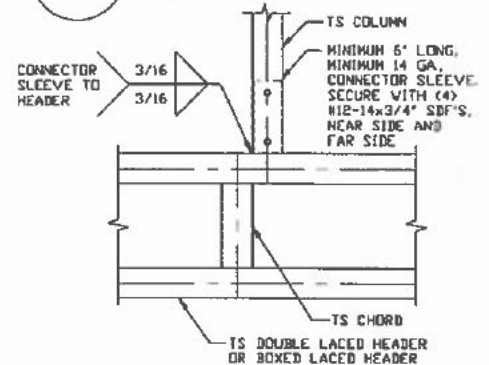
SCALE: NTS



**COLUMN/LACED HEADER
CONNECTION DETAIL**

9B

SCALE: NTS



**COLUMN/DOUBLE LACED
HEADER OR BOXED
LACED HEADER
CONNECTION DETAIL**

9C

SCALE: NTS

Validity Notice

Plans Expiration Date:

17 July 2024

**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: LT

CHECKED BY: PJH

PROJECT MGR: JRP

CLIENT: ANC

AFFORDABLE METAL CARPORTS, LLC
9106 US-69 N
POLLOK, TX 75969
30'-0" x 16'-0" ENCLOSED STRUCTURE

DATE: 7-17-23

SHT. 13

SCALE: NTS

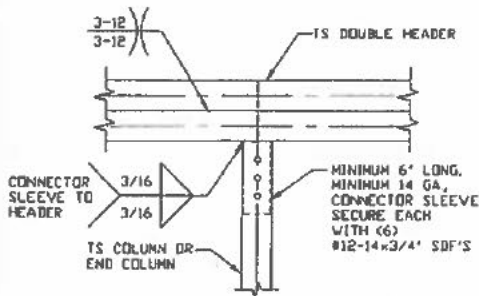
DWG. NO: SK-3

**JOB NO:
211735/231135**

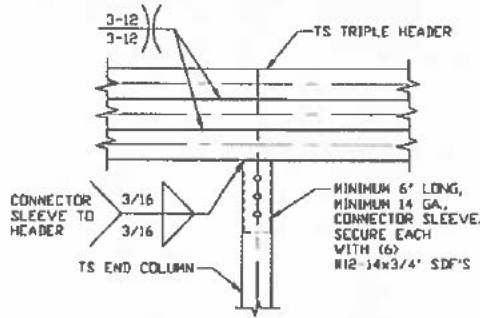
Page 42 of

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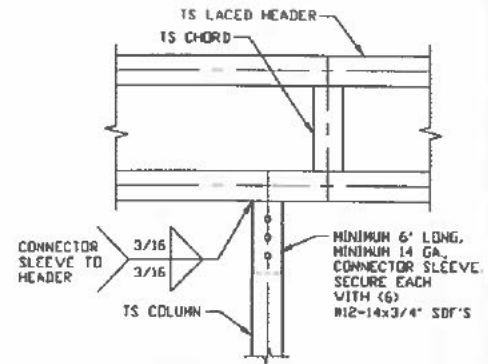
CONNECTION DETAILS



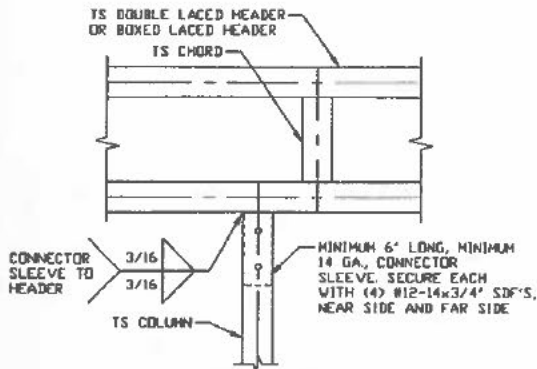
10 **DOUBLE HEADER/COLUMN CONNECTION DETAIL**
SCALE: NTS



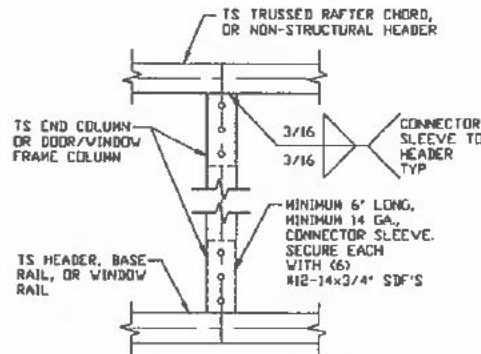
10A **TRIPLE HEADER/COLUMN CONNECTION DETAIL**
SCALE: NTS



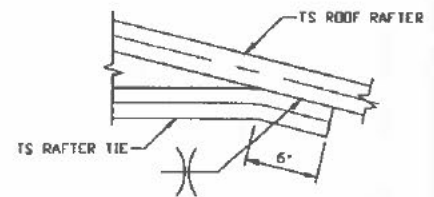
10B **LACED HEADER/COLUMN CONNECTION DETAIL**
SCALE: NTS



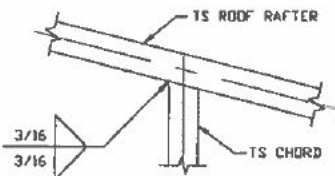
10C **DOUBLE LACED HEADER OR BOXED LACED HEADER/COLUMN CONNECTION DETAIL**
SCALE: NTS



11 **COLUMN TO HEADER OR BASE RAIL CONNECTION DETAIL**
SCALE: NTS



12 **RAFTER TIE CONNECTION DETAIL**
SCALE: NTS



13 **RAFTER TO CHORD CONNECTION DETAIL**
SCALE: NTS

Validity Notice

Plans Expiration Date:

17 July 2024

**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: JRP

CLIENT: AMC

AFFORDABLE METAL CARPORTS, LLC
9106 US-69 N
POLLOCK, TX 75969
30'-0" x 16'-0" ENCLOSED STRUCTURE

DATE: 7-17-23

SHT. 14

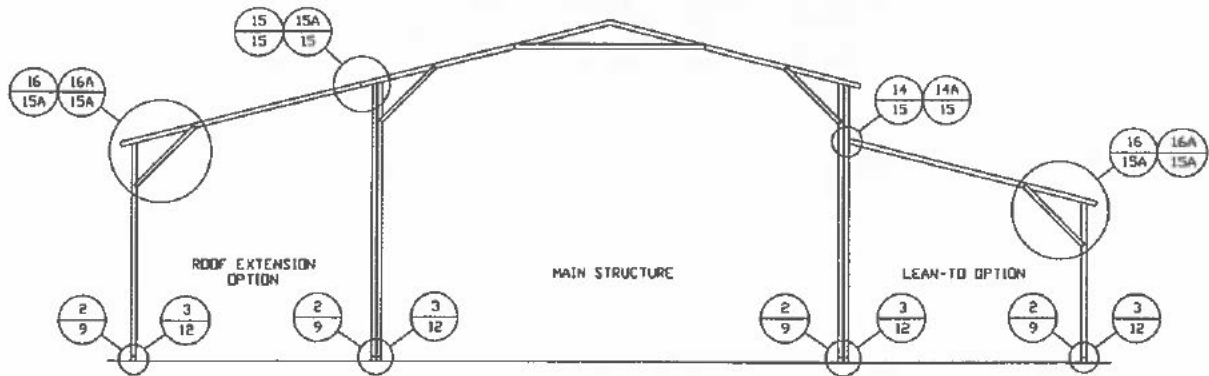
SCALE: NTS

DWG NO: SK-3

JOB NO:
21133/23133

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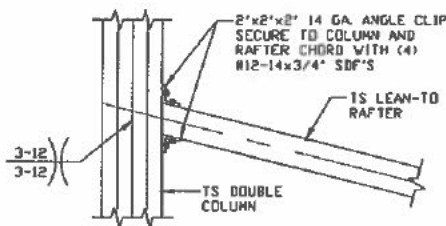
LEAN-TO OPTIONS (BOX EAVE RAFTER)



TYPICAL BOX EAVE RAFTER LEAN-TO OPTIONS FRAMING SECTION (BOTH OPTIONS SHOWN)

SCALE: NTS

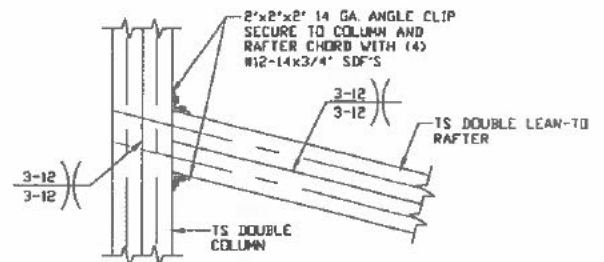
NOTE: REFER TO SHEETS 6 AND 6A FOR COLUMN HEIGHTS AND TYPES



LEAN-TO RAFTER TO RAFTER COLUMN CONNECTION DETAIL FOR RAFTER SPANS $\leq 10'-0"$

14

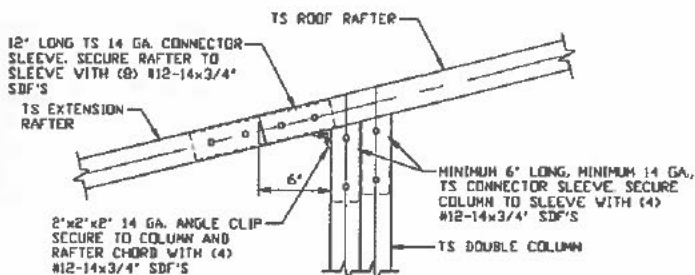
SCALE: NTS



LEAN-TO RAFTER TO RAFTER COLUMN CONNECTION DETAIL FOR RAFTER SPANS $10'-0" < TO \leq 18'-0"$

14A

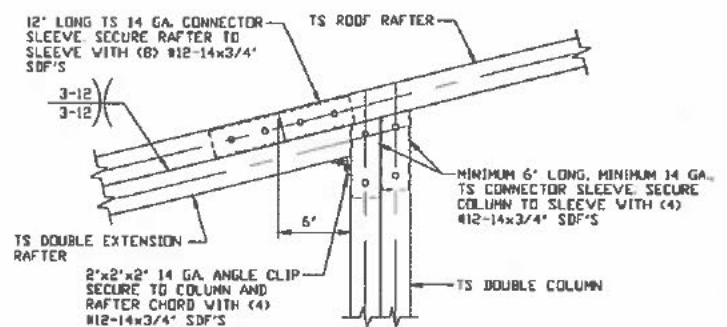
SCALE: NTS



SIDE EXTENSION RAFTER/COLUMN DETAIL FOR SPANS $\leq 12'-0"$

15

SCALE: NTS



SIDE EXTENSION RAFTER/COLUMN DETAIL FOR SPANS $12'-0" < TO \leq 18'-0"$

15A

SCALE: NTS

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CLIENT: ANC

AFFORDABLE METAL CARPORTS, LLC
9106 US-69 N
POLLOK, TX 75969
30'-0" x 16'-0" ENCLOSED STRUCTURE

DATE: 7-17-23

SCALE: NTS

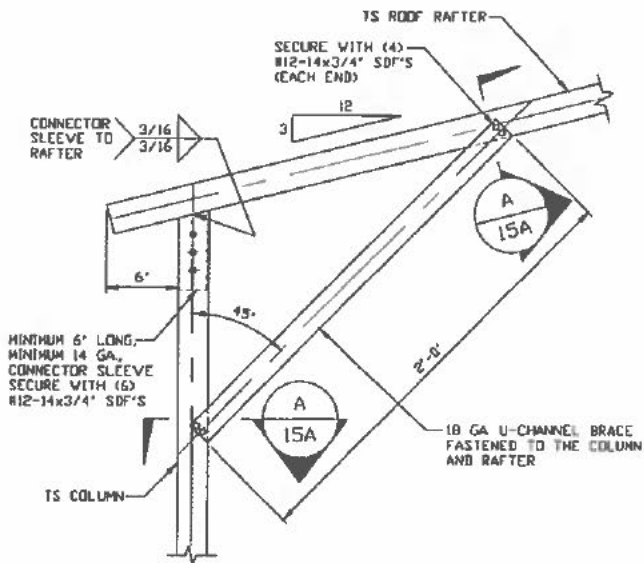
SHT. 15

DWG. NO. SK-3

JOB NO.
211933/231135

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LEAN-TO OPTIONS (BOX EAVE RAFTER)

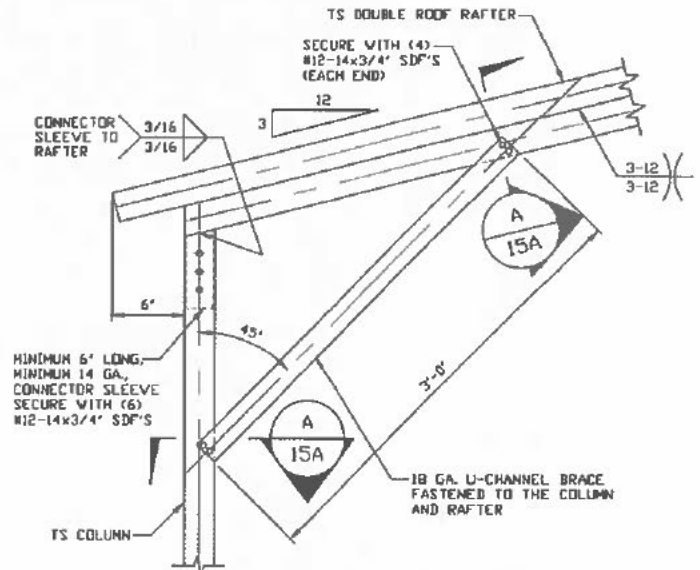


16

BOX EAVE RAFTER/CORNER COLUMN CONNECTION DETAIL

SCALE: NTS

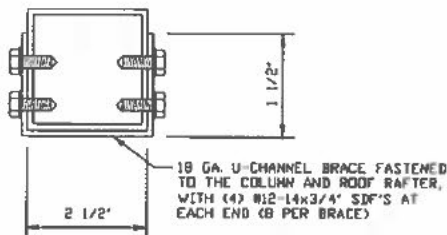
NOTE: USE 4'-0\"/>



16A

BOX EAVE RAFTER/CORNER COLUMN CONNECTION DETAIL

SCALE: NTS



A

BRACE SECTION

SCALE: NTS

Validity Notice

Plans Expiration Date:

17 July 2024

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PROJECT MGR: JRP

CLIENT: ANC

AFFORDABLE METAL CARPORTS, LLC
9106 US-69 N
POLLOCK, TX 75969
30'-0" x 16'-0" ENCLOSED STRUCTURE

DATE: 7-17-23

SHT. 15A

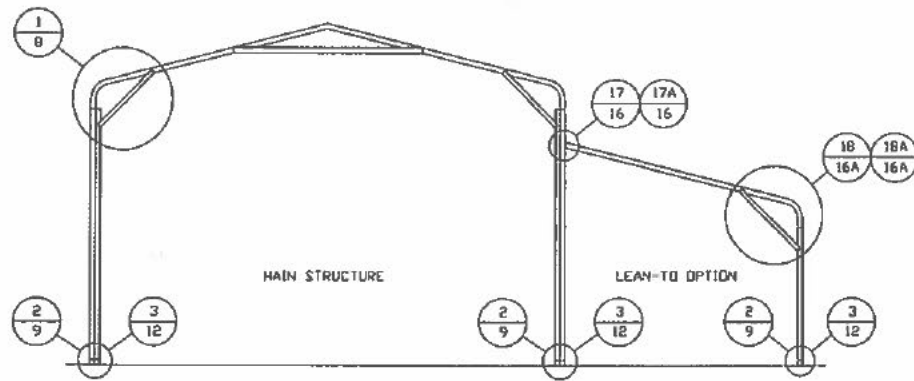
SCALE: NTS

DWG. NO. SK-3

JOB NO.
211928/231135

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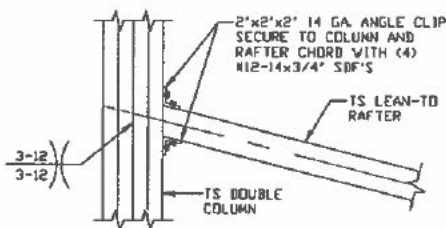
LEAN-TO OPTIONS (BOW EAVE RAFTER)



TYPICAL BOW EAVE RAFTER LEAN-TO OPTIONS FRAMING SECTION

SCALE: NTS

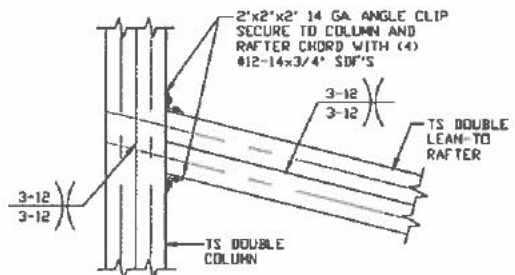
NOTE: REFER TO SHEETS 8 AND 8A FOR COLUMN HEIGHTS AND TYPES.



LEAN-TO RAFTER TO RAFTER COLUMN CONNECTION DETAIL FOR RAFTER SPANS $\leq 10'-0''$

SCALE: NTS

17



LEAN-TO RAFTER TO RAFTER COLUMN CONNECTION DETAIL FOR RAFTER SPANS $10'-0'' < \text{TO} \leq 18'-0''$

SCALE: NTS

17A

Validity Notice

Plans Expiration Date:

17 July 2024

MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.

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CHECKED BY: PDH

PROJECT MGR: JRP

CLIENT: AMC

AFFORDABLE METAL CARPORTS, LLC
9106 US-69 N
POLLOCK, TX 75969
30'-0"x16'-0" ENCLOSED STRUCTURE

DATE: 7-17-23

SHT. 16

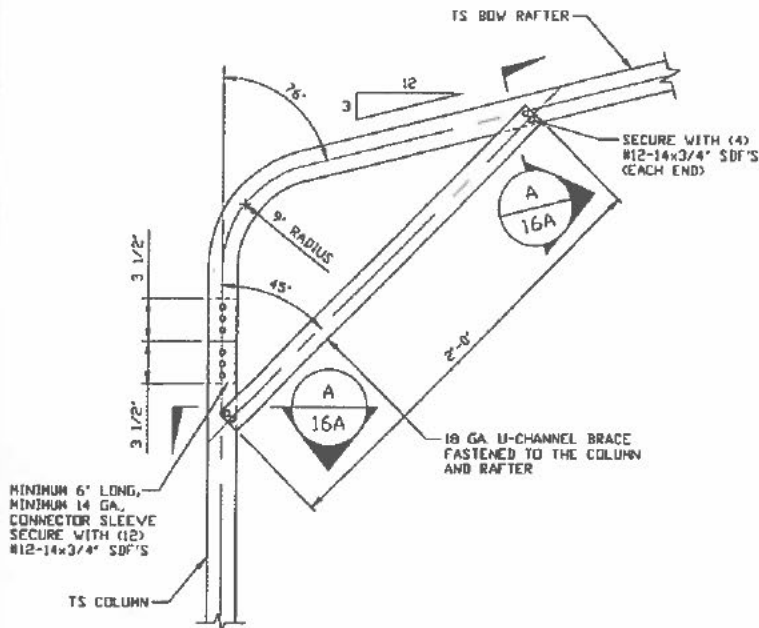
SCALE: NTS

DWG. NO. SK-3

JOB NO.
211933/231133

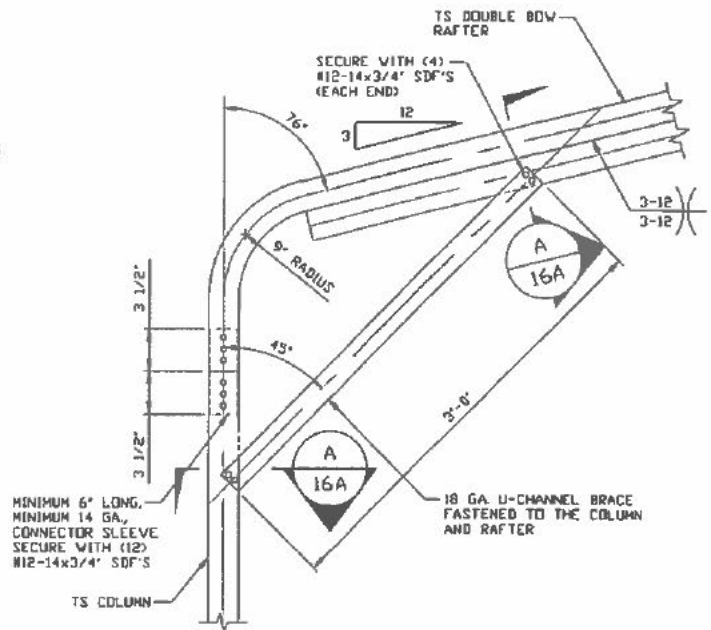
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LEAN-TO OPTIONS (BOW EAVE RAFTER)



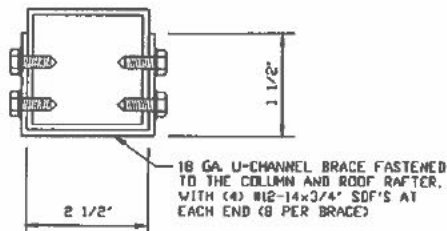
18 BOW EAVE RAFTER/CORNER COLUMN CONNECTION DETAIL

SCALE: NTS
NOTE: USE 4'-0\"/>



18A BOW EAVE RAFTER/CORNER COLUMN CONNECTION DETAIL

SCALE: NTS



A BRACE SECTION

SCALE: NTS

Validity Notice

Plans Expiration Date:

17 July 2024

**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

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CHECKED BY: PMH

PROJECT MGR: JRP

CLIENT: ANC

AFFORDABLE METAL CARPORTS, LLC
9106 US-69 N
POLLOCK, TX 75969
30'-0\"/>

DATE: 7-17-23

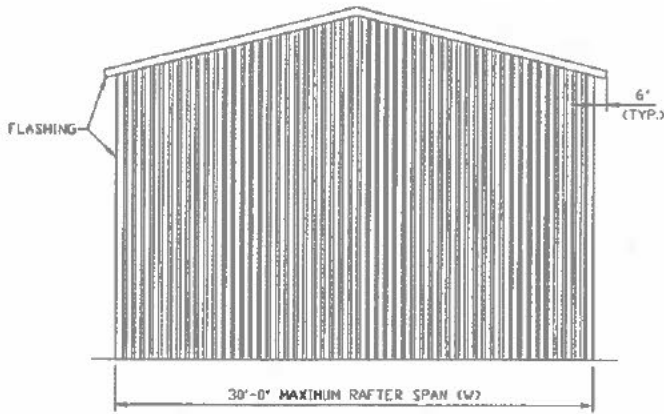
SHT. 16A

SCALE: NTS

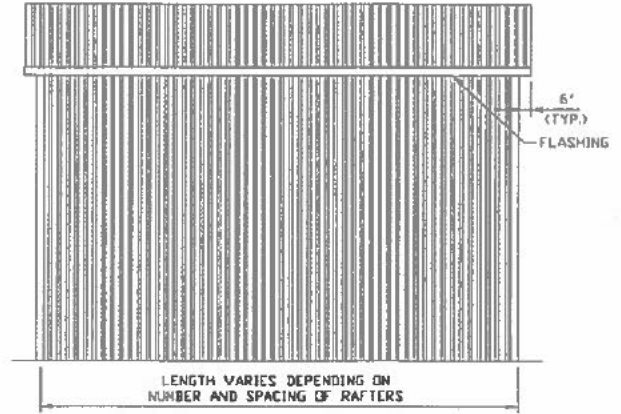
DWG. NO. SK-3

JOB NO.
P19955/231135

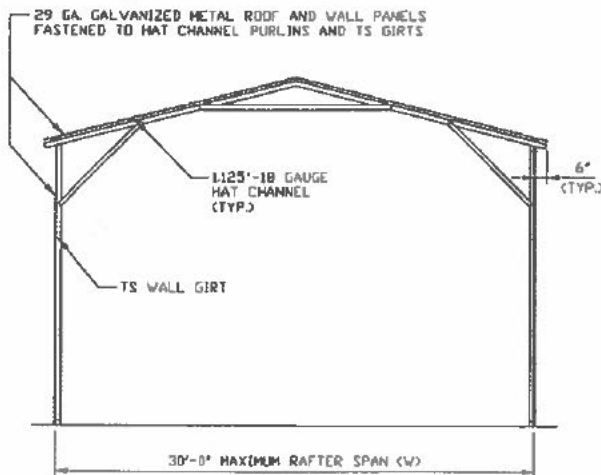
BOX EAVE RAFTER VERTICAL ROOF/SIDING OPTION



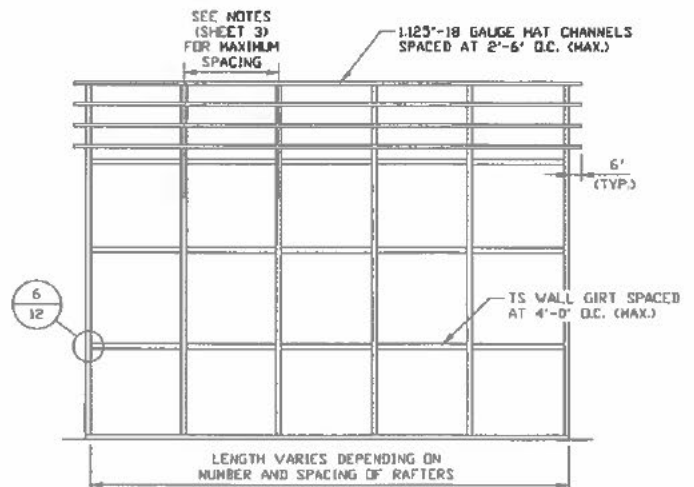
**TYPICAL END ELEVATION
VERTICAL ROOF/SIDING**
SCALE: NTS



**TYPICAL SIDE ELEVATION
VERTICAL ROOF/SIDING**
SCALE: NTS

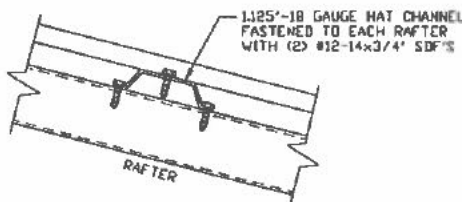


**TYPICAL SECTION VERTICAL
ROOF/SIDING OPTION**
SCALE: NTS



**TYPICAL FRAMING SECTION VERTICAL
ROOF/SIDING OPTION WITH TS GIRTS**
SCALE: NTS

NOTE: HAT CHANNEL PURLINS SHALL BE SPACED @ 4'-0" O.C. FOR GROUND SNOW LOADS ≤ 30 PSF AND WIND SPEEDS ≤ 130 MPH.



PANEL ATTACHMENT
(ALTERNATE FOR VERTICAL ROOF PANELS)
SCALE: NTS

Validity Notice

Plans Expiration Date:

17 July 2024

**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: JRP

CLIENT: AMC

AFFORDABLE METAL CARPORTS, LLC
9106 US-69 N
POLLOCK, TX 75969
30'-0"x16'-0" ENCLOSED STRUCTURE

DATE: 7-17-23

SHT. 17

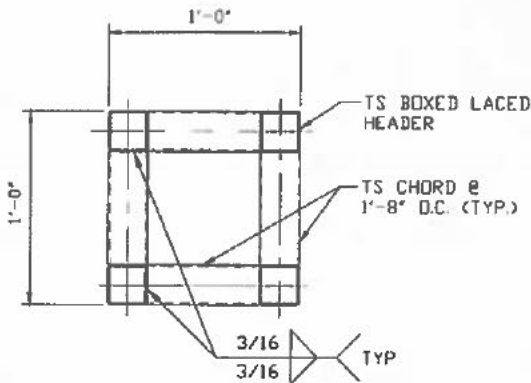
SCALE: NTS

DWG. NO. SK-3

JOB NO. 21993/231135

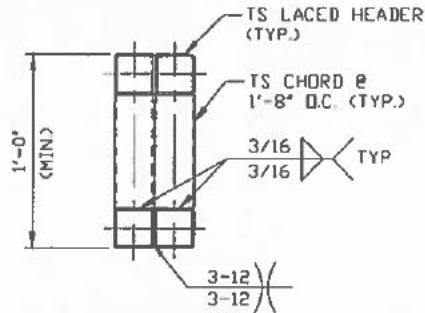
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SIDE WALL HEADER OPTIONS



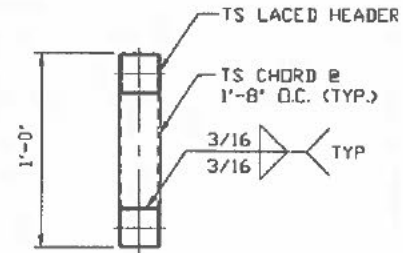
**HEADER DETAIL FOR SIDE
WALL DOOR OPENINGS
14'-0" < LENGTH ≤ 18'-0"**

SCALE: NTS



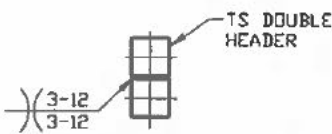
**HEADER DETAIL FOR SIDE
WALL DOOR OPENINGS
14'-0" < LENGTH ≤ 18'-0"**

SCALE: NTS



**HEADER DETAIL FOR SIDE
WALL DOOR OPENINGS
9'-0" < LENGTH ≤ 14'-0"**

SCALE: NTS



**HEADER DETAIL FOR SIDE
WALL DOOR OPENINGS
6'-0" < LENGTH ≤ 9'-0"**

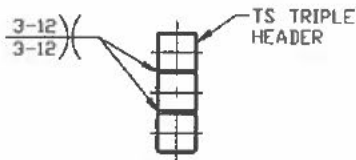
SCALE: NTS



**HEADER DETAIL FOR SIDE
WALL DOOR OPENINGS ≤ 6'-0"**

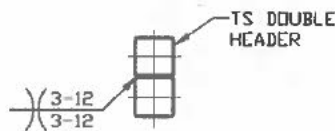
SCALE: NTS

END WALL HEADER OPTIONS



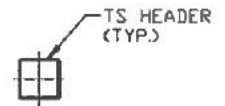
**HEADER DETAIL FOR SIDE
WALL DOOR OPENINGS
14'-0" < LENGTH ≤ 18'-0"**

SCALE: NTS



**HEADER DETAIL FOR SIDE
WALL DOOR OPENINGS
8'-0" < LENGTH ≤ 14'-0"**

SCALE: NTS



**HEADER DETAIL FOR END
WALL DOOR OPENINGS ≤ 8'-0"**

SCALE: NTS

Validity Notice

Plans Expiration Date:

17 July 2024

**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: LT

CHECKED BY: PMH

PROJECT MGR: JRP

CLIENT: AMC

AFFORDABLE METAL CARPORTS, LLC
9106 US-69 N
POLLOCK, TX 75969
30'-0"x16'-0" ENCLOSED STRUCTURE

DATE: 7-17-23

SCALE: NTS

SHT. 18

DWG. NO. SK-3

**JOB NO.
231933/231935**

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